

NOTE: REMOVE ALL INTERIOR FLOORING

LEGEND:
 REMOVE FLOOR

1 EXISTING FLOOR PLAN
 1/4" = 1'-0"



2 3D EXISTING & DEMO

GENERAL DEMOLITION NOTES:

1. THE SCOPE OF WORK HAS GENERALLY BEEN INDICATED ON THE DRAWING FOR CONTRACTOR'S INFORMATION. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO DETERMINE THE FULL SCOPE EXTENT, NATURE AND MANNER OF DEMOLITION REQUIRED.
2. ONLY WORKMEN SKILLED AND KNOWLEDGEABLE IN THEIR RESPECTIVE TRADES SHALL BE EMPLOYED IN THE DEMOLITION OF ANY WORK.
3. CONTRACTORS SHALL TAKE SPECIAL CARE TO DEMOLISH ONLY THAT WORK WHICH IS REQUIRED TO BE DEMOLISHED AND NOT TO DISTURB ANY WORK WHICH IS TO REMAIN. IF IN THE COURSE OF DEMOLITION A CONTRACTOR DESTROYS OR DISTURBS ANY WORK WHICH IS TO REMAIN, THEN HE SHALL, AT HIS OWN EXPENSE, REPAIR OR REPLACE SUCH WORK AS NECESSARY.
4. ANY CUTS AND PENETRATIONS IN EXISTING WORK REQUIRED TO ACCOMPLISH NEW WORK SHALL BE KEPT TO AN ABSOLUTE MINIMUM.
5. ALL DEMOLITION WORK TO BE DONE DURING THOSE HOURS DESIGNATED BY OWNER, OWNER REPRESENTATIVE OR ASSOCIATION.
6. REMOVE AND DISCARD ALL DEMOLISHED ITEMS IN A MANNER FULLY APPROVED BY THE CITY OF BAL HARBOUR AND ANY OTHER GOVERNMENT AGENCY.
7. DO NOT SCALE DRAWINGS.
8. CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND JOB CONDITIONS PRIOR TO SUBMITTING BIDS AND SHALL REPORT TO THE OWNER'S REPRESENTATIVE ANY DISCREPANCIES OR OMISSIONS WHICH WOULD INTERFERE WITH SATISFACTORY COMPLETION OF WORK. ALL BUILDING DEPARTMENT PERMITS SHALL BE OBTAINED PRIOR TO COMMENCEMENT OF ANY CONSTRUCTION WORK.
9. IN ALL CASES, THE CONTRACTOR SHALL PATCH ALL DISTURBED EXISTING STRUCTURES (WALLS, COLUMNS, ETC.) WHICH ARE TO REMAIN TO MATCH ADJACENT CONDITIONS AND PREPARE THEM FOR THE RECEPTION OF NEW FINISHES.
10. MECHANICAL DUCTWORK AND PIPING DEMOLITION TO BE DONE BY THE MECHANICAL CONTRACTOR.
11. CONTRACTOR SHALL PROTECT, PATCH AND REPAIR ALL EXISTING WORK ADJACENT TO HIS WORK OR DAMAGED AS A RESULT OF HIS WORK.
12. CONTRACTOR SHALL PROTECT FROM DAMAGE ALL EXISTING MATERIALS TO BE REUSED AND SHALL ALSO PROTECT ALL TRAFFIC AREAS OF BUILDING HE USES DURING THE EXECUTION OF WORK PERTAINING TO THIS CONTRACT.
13. CONTRACTOR SHALL REPAIR ANY DAMAGE ATTRIBUTABLE TO HIS OPERATION.
14. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PERFORMANCE OF ALL CUTTING AND PATCHING MADE NECESSARY BY THE WORK OF ALL TRADES INVOLVED IN THIS ALTERATION.
15. ELECTRICAL DEMOLITION TO BE DONE BY QUALIFIED ELECTRICAL CONTRACTOR AND COORDINATED WITH ELECTRICAL DRAWINGS.
16. PLUMBING DEMOLITION TO BE DONE BY QUALIFIED PLUMBING CONTRACTOR AND COORDINATED WITH PROPOSED PLUMBING DRAWINGS.

REV	DATE	DESCRIPTION

Copyright 2023
 #####
 #####, LLC
 All rights reserved

ARCHITECTURE
 #####
 #####
 ##### Street, Suite ###
 North Miami Beach, FL 33160
 www.#####.com
 #####

10225 COLLINS AVE.
 UNIT 1402
 BAL HARBOUR, FL 33154

FOLIO: 12-2226-041-0350
 UNIT OWNER:
 PRIVATE OWNER

EXISTING
 CONDITIONS &
 DEMO - FLOOR
 PLAN

08/10/2023 Scale As indicated

SCOPE OF WORK:

1. Sound Control Installation per code (Whisper Mat 110 mil)
2. Installation of Porcelain Tile & Wood flooring per Sheet A-102
3. Demolition of walls per Demo Plan A-101
4. Remodel Kitchen & Install new kitchen cabinets
5. Remodel Master Bathroom & Master Closets
6. Bath tub, steam shower, vanities replacement & toilet relocation in Master Bathroom
7. Remodel all Bedrooms, bathrooms, living room, dining room, foyer and closets, as shown
8. Installation of new appliances
9. Painting of entire unit
10. Bathroom 3 Installation per original plumbing connections
11. Shower removals & Bath tub installations in Bathroom 1 and Bathroom 2.
12. Vanities & Toilets replacement in all bathrooms
13. Install wall tiles in all bathrooms
14. Repair walls adjacent to common areas, as shown and install 1-hour Fire Rated walls per code. Refer to Sheet A-109 for details
15. Doors replacement per Door schedule
16. Drop ceilings per Reflected Ceiling Plan A-104.
17. Replace 200 AMP Electrical panel 'A' and replace 200 AMP Electrical panel 'B'
18. Light fixtures and Electrical Outlets installation per Electrical Plans E201 & E202
19. A/C Units & Ductwork replacement per Mechanical plans

Notes:

Building Code: 2020 7th Edition & FFPC 2020, 7TH Edition
 Occupancy Type: R-2
 Type of Construction: 1
 Classification of Work: Level 2 Alteration

FIRE ALARM NOTE:
 -THIS UNIT IS EQUIPPED WITH FIRE ALARM SYSTEM.

REINFORCED WALL AREAS FOR FUTURE INSTALLATION OF GRAB BARS AT TOILET & BIDET, TYP *REFER TO DETAILS ON SHEET

EXISTING 1HR FIRE RATED WALL AFFECTED BY THE REPLACEMENT OF THE PLUMBING FIXTURES TO BE REPAIRED BY 1 HOUR FIRE RATED WALL PER CODE (5/8" GYPSUM BOARD TYPE X). FOR DETAILS, REFER TO SHEET A-109

PER F.B.C. 1210.2.3 SHOWER COMPARTMENTS AND WALLS ABOVE BATHTUBS WITH INSTALLED SHOWER HEADS SHALL BE FINISHED WITH A SMOOTH, NONABSORBENT SURFACE TO A HEIGHT NOT LESS THAN 72 INCHES ABOVE THE DRAIN INLET, TYP

REINFORCED WALL AREAS FOR FUTURE INSTALLATION OF GRAB BARS AT TOILET & BIDET, TYP *REFER TO DETAILS ON SHEET

NOTE:

ALL NEW FINISHES (WALL/CEILING/FLOOR/TRIM/DECOR), ARE TO COMPLY WITH FBCB CHAPTER 8 AND FBC E 805.1 FOR FLAME SPREAD AND SMOKE DEVELOPMENT CLASSIFICATION

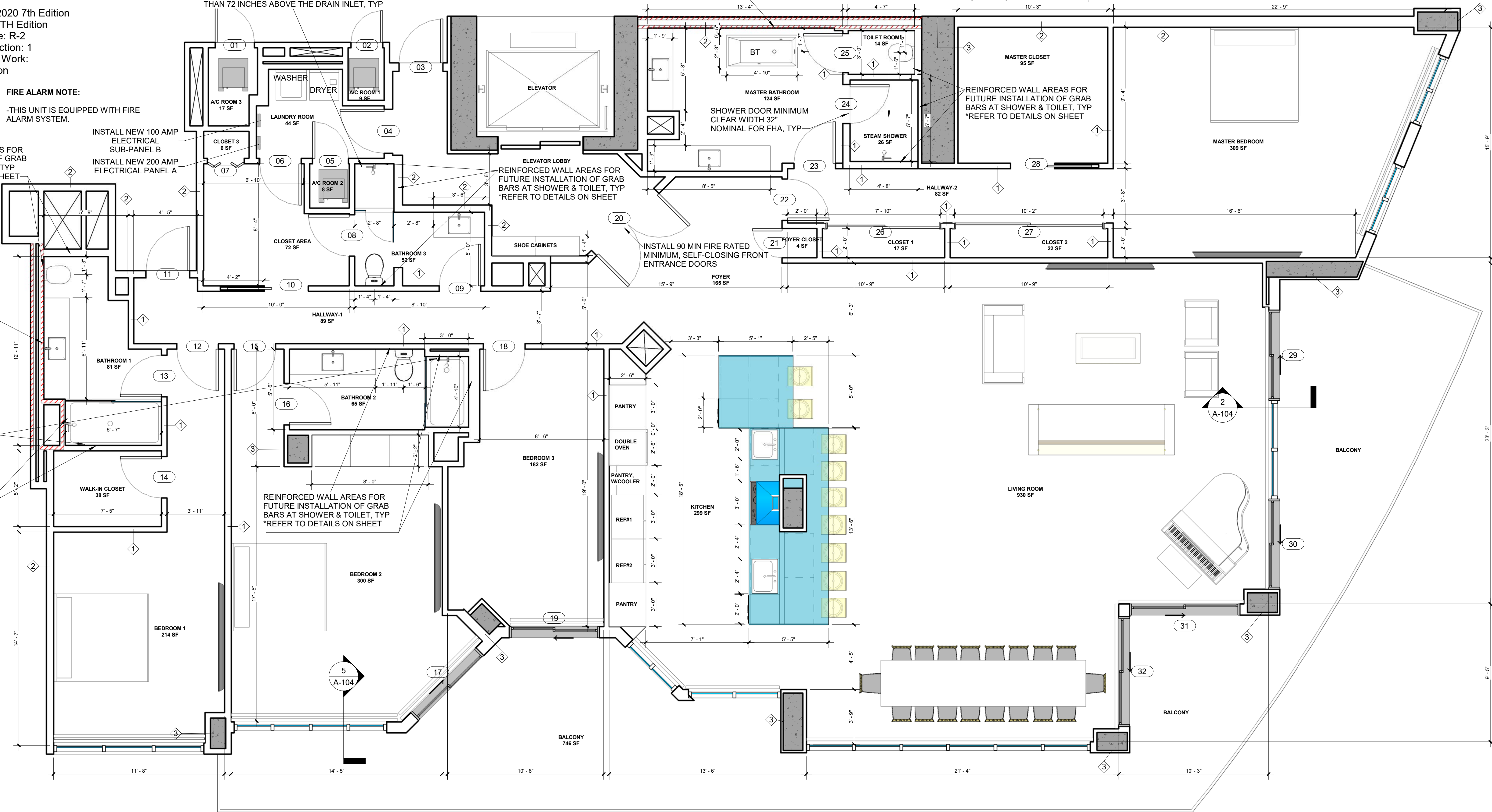
NOTES:

1. USE OF ANY COMBUSTIBLE MATERIALS IN TYPES I & II CONSTRUCTIONS TO COMPLY WITH FBC 603.1 (FIRE-RETARDANT-TREATED WOOD ONLY) AND 805.1 & 806.1
2. ALL WALLHUNG CASEWORK, KITCHEN CABINETS AND PLUMBING FIXTURES MUST COMPLY WITH ASTM C645 & C754. STEEL STUDS TO BE DOUBLED AT 16 O.C. OR NOT LESS THAN 20 GAUGE

PER F.B.C. 1210.2.3 SHOWER COMPARTMENTS AND WALLS ABOVE BATHTUBS WITH INSTALLED SHOWER HEADS SHALL BE FINISHED WITH A SMOOTH, NONABSORBENT SURFACE TO A HEIGHT NOT LESS THAN 72 INCHES ABOVE THE DRAIN INLET, TYP

EXISTING 1HR FIRE RATED WALL AFFECTED BY THE REPLACEMENT OF THE PLUMBING FIXTURES TO BE REPAIRED BY 1 HOUR FIRE RATED WALL PER CODE (5/8" GYPSUM BOARD TYPE X). FOR DETAILS, REFER TO SHEET A-109

PER F.B.C. 1210.2.3 SHOWER COMPARTMENTS AND WALLS ABOVE BATHTUBS WITH INSTALLED SHOWER HEADS SHALL BE FINISHED WITH A SMOOTH, NONABSORBENT SURFACE TO A HEIGHT NOT LESS THAN 72 INCHES ABOVE THE DRAIN INLET, TYP



1 PROPOSED FLOOR PLAN
 1/4" = 1'-0"

Mark	NAME	UNIT WIDTH	UNIT HEIGHT	Phase Created
01	Single-Flush	2' - 8"	6' - 8"	New Construction
02	Single-Flush	2' - 2"	6' - 8"	New Construction
03	Single-Flush	3' - 0"	7' - 4"	Existing
04	Single-Flush	3' - 0"	7' - 4"	New Construction
05	Single-Flush	2' - 6"	6' - 8"	New Construction
06	Single-Flush	2' - 10"	6' - 8"	New Construction
07	Bifold-4 Panel	2' - 6"	7' - 0"	New Construction
08	Single-Flush	2' - 10"	7' - 4"	New Construction
09	Single-Flush	2' - 10"	7' - 4"	New Construction
10	Single-Pocket	3' - 0"	6' - 8"	New Construction
11	Single-Flush	3' - 0"	7' - 4"	Existing
12	Single-Flush	2' - 10"	7' - 4"	New Construction
13	Single-Flush	2' - 10"	7' - 4"	New Construction
14	Single-Flush	2' - 10"	7' - 4"	New Construction
15	Single-Flush	2' - 10"	7' - 4"	New Construction
16	Single-Flush	2' - 10"	7' - 4"	New Construction
17	Sliding door -Glass (Exterior)	6' - 3"	9' - 6"	Existing
18	Single-Flush	2' - 10"	7' - 4"	New Construction
19	Sliding door -Glass (Exterior)	6' - 2"	9' - 6"	Existing
20	Double-Panel	6' - 0"	7' - 0"	New Construction
21	Single-Flush	2' - 0"	7' - 4"	New Construction
22	Single-Flush	2' - 10"	7' - 4"	New Construction
23	Single-Flush	2' - 10"	7' - 4"	New Construction
24	Glass-door	2' - 8"	6' - 8"	New Construction
25	Glass-door	2' - 8"	6' - 8"	New Construction
26	Door Double Sliding (Interior)	7' - 8"	7' - 0"	New Construction
27	Door Double Sliding (Interior)	10' - 0"	7' - 0"	New Construction
28	Single-Pocket	3' - 0"	6' - 8"	New Construction
29	Sliding door -Glass (Exterior)	6' - 2"	9' - 6"	Existing
30	Sliding door -Glass (Exterior)	6' - 2"	9' - 6"	Existing
31	Sliding door -Glass (Exterior)	7' - 6"	9' - 8"	Existing
32	Sliding door -Glass (Exterior)	7' - 6"	9' - 8"	Existing
Grand total: 32				

Name	Area
KITCHEN	299 SF
LIVING ROOM	930 SF
FOYER	165 SF
HALLWAY-1	89 SF
LAUNDRY ROOM	44 SF
CLOSET AREA	72 SF
BATHROOM 3	52 SF
CLOSET 3	6 SF
BEDROOM 1	214 SF
BATHROOM 1	81 SF
WALK-IN CLOSET	38 SF
BEDROOM 2	300 SF
BATHROOM 2	65 SF
MASTER BATHROOM	124 SF
MASTER CLOSET	95 SF
CLOSET 1	17 SF
CLOSET 2	22 SF
MASTER BEDROOM	309 SF
HALLWAY-2	82 SF
TOILET ROOM	14 SF
STEAM SHOWER	26 SF
BEDROOM 3	182 SF
FOYER CLOSET	4 SF
ELEVATOR LOBBY	107 SF
Grand total: 24	3339 SF

PER FBCB 1208.2-EXC 4, HABITABLE SPACES SHALL HAVE A CEILING HEIGHT OF 7 FEET MIN. REFER TO CEILING PLAN ON A105

WORK WILL BE DONE IN ACCORDANCE WITH FFPC 2020 7TH EDITION. INTERIOR FINISH WILL COMPLY WITH FFPC 7TH EDITION 10.2.2

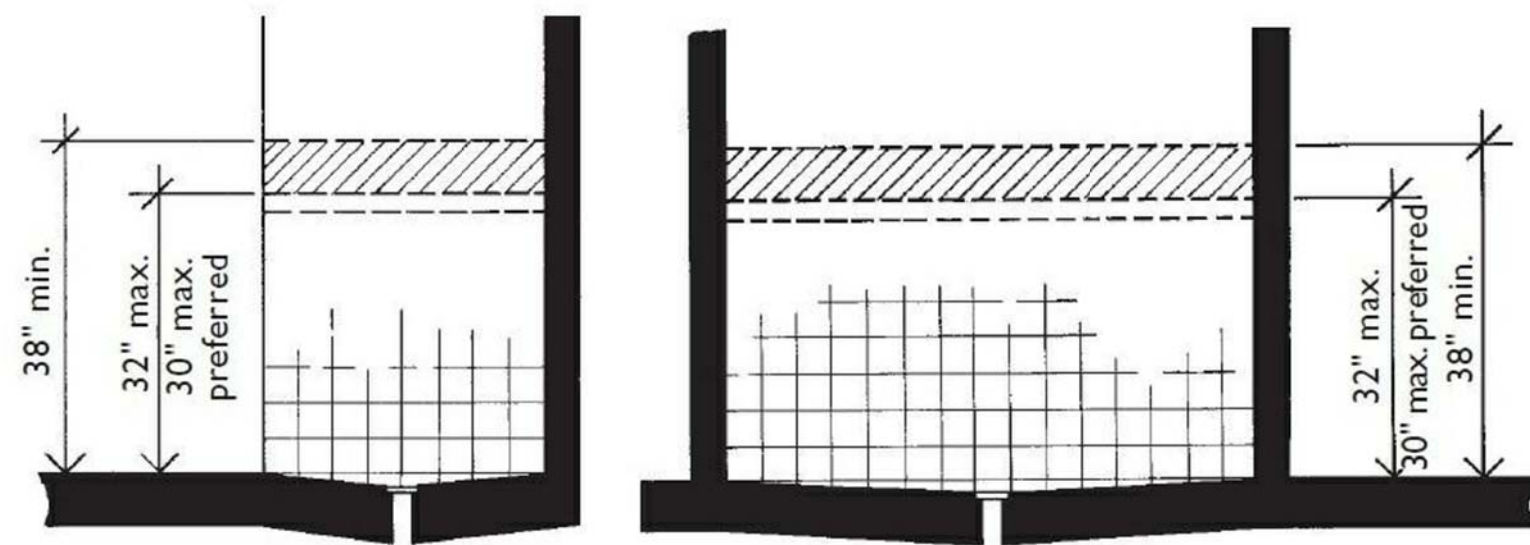
ALL NEW FINISHES (WALL/CEILING/FLOOR/TRIM/DECOR), ARE TO COMPLY WITH FBCB CHAPTER 8, FOR FLAME SPREAD AND SMOKE DEVELOPMENT CLASSIFICATION.

PER FBCB 1010.1.5&7, 1/2 INCH MAXIMUM THRESHOLDS OR FLOOR TRANSITIONS INSIDE THE UNIT.

TOILET, SHOWER (SEAT AND GRAB BARS) & TUB BACKING INSTALLATION AND LAYOUT FOR FUTURE GRAB BARS. CLEAR FLOOR SPACE NEXT TO EACH KITCHEN APPLIANCE, AND EACH BATHROOM FIXTURE TYPE IN AT LEAST ONE BATHROOM.

LEGEND:

- ① NON-RATED WALL (SEE DETAILS ON SHEET A104)
- ② 1 HOUR FIRE RATED WALL (SEE DETAILS ON SHEET A109)
- ③ CONCRETE WALL (EXISTING WALLS)

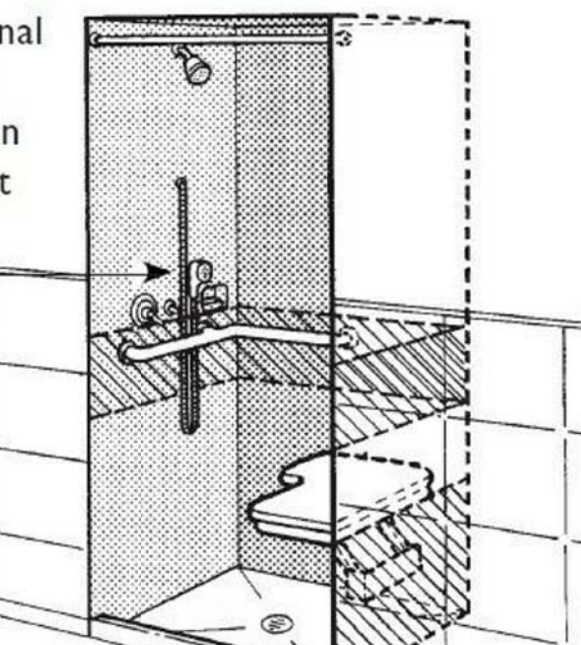


Minimum Reinforcing for Grab Bars in Showers

reinforcing for optional seat when shower is only bathing fixture in covered dwelling unit

optional hand-held shower

17"-19", typical seat height as specified in ANSI

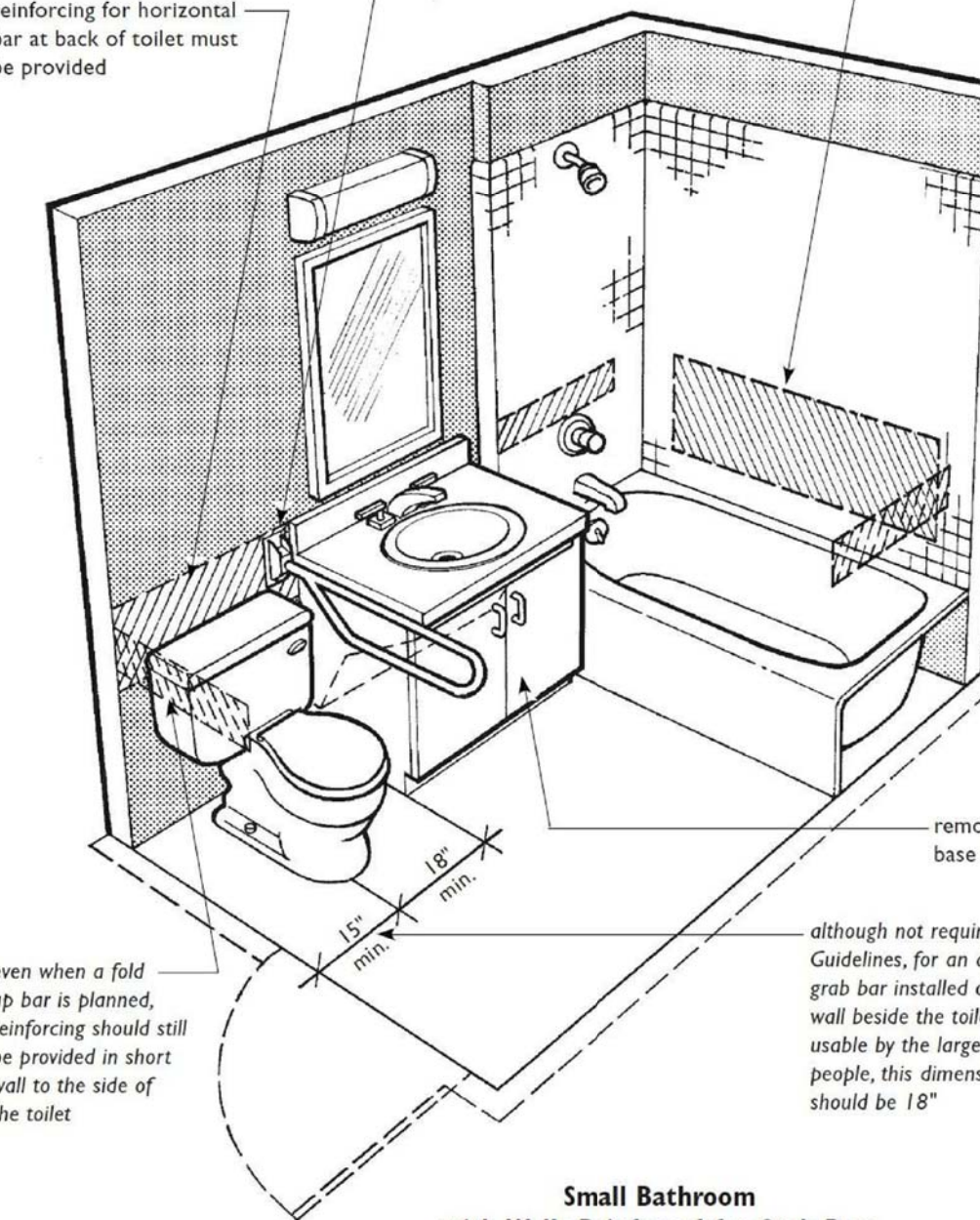


Seat and Grab Bar in Shower

where toilets do not have full side walls, reinforcing behind toilet must be enlarged to support a folding grab bar

minimum reinforced areas at conventional bathtub

reinforcing for horizontal bar at back of toilet must be provided



even when a fold up bar is planned, reinforcing should still be provided in short wall to the side of the toilet

although not required by the Guidelines, for an additional grab bar installed on the short wall beside the toilet to be usable by the largest number of people, this dimension also should be 18"

Small Bathroom with Walls Reinforced for Grab Bars

REV	DATE	DESCRIPTION

Copyright 2023
 #####
 #####, LLC
 All rights reserved

ARCHITECTURE
 #####
 #####
 ##### Street, Suite ##
 North Miami Beach, FL 33160
 www.#####.com
 #####

10225 COLLINS AVE.
 UNIT 1402
 BAL HARBOUR, FL 33154

FOLIO: 12-2226-041-0350
 UNIT OWNER:
 PRIVATE OWNER

PROPOSED FLOOR PLAN

08/10/2023 Scale 1/4" = 1'-0"

A-102

REV	DATE	DESCRIPTION

Copyright 2023
 #####
 #####, LLC
 All rights reserved

ARCHITECTURE
 #####
 ##### Street, Suite ###
 North Miami Beach, FL 33160
 www.#####.com
 #####

10225 COLLINS AVE.
 UNIT 1402
 BAL HARBOUR, FL 33154

FOLIO: 12-2226-041-0350
 UNIT OWNER:
 PRIVATE OWNER

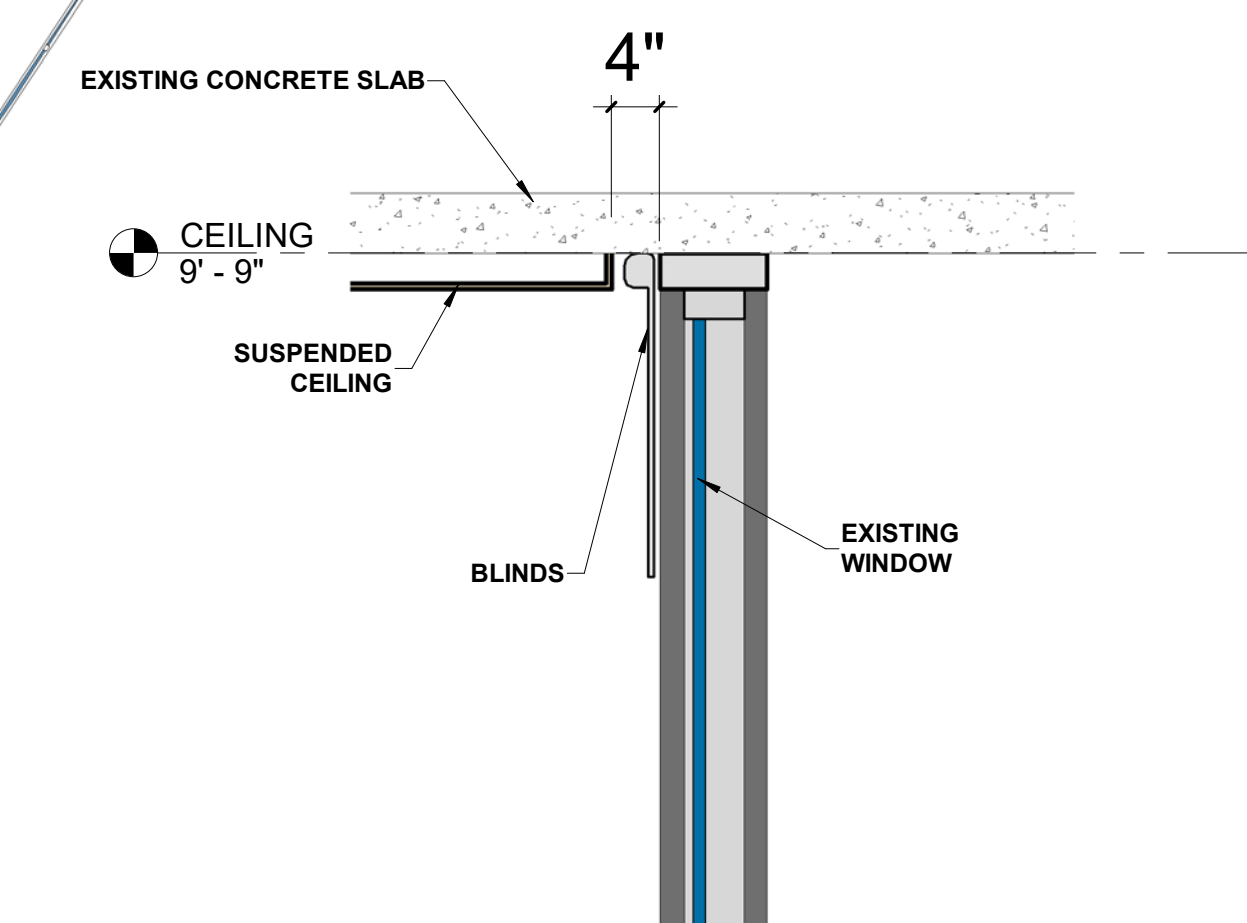
REFLECTED CEILING PLAN

08/10/2023 Scale As indicated

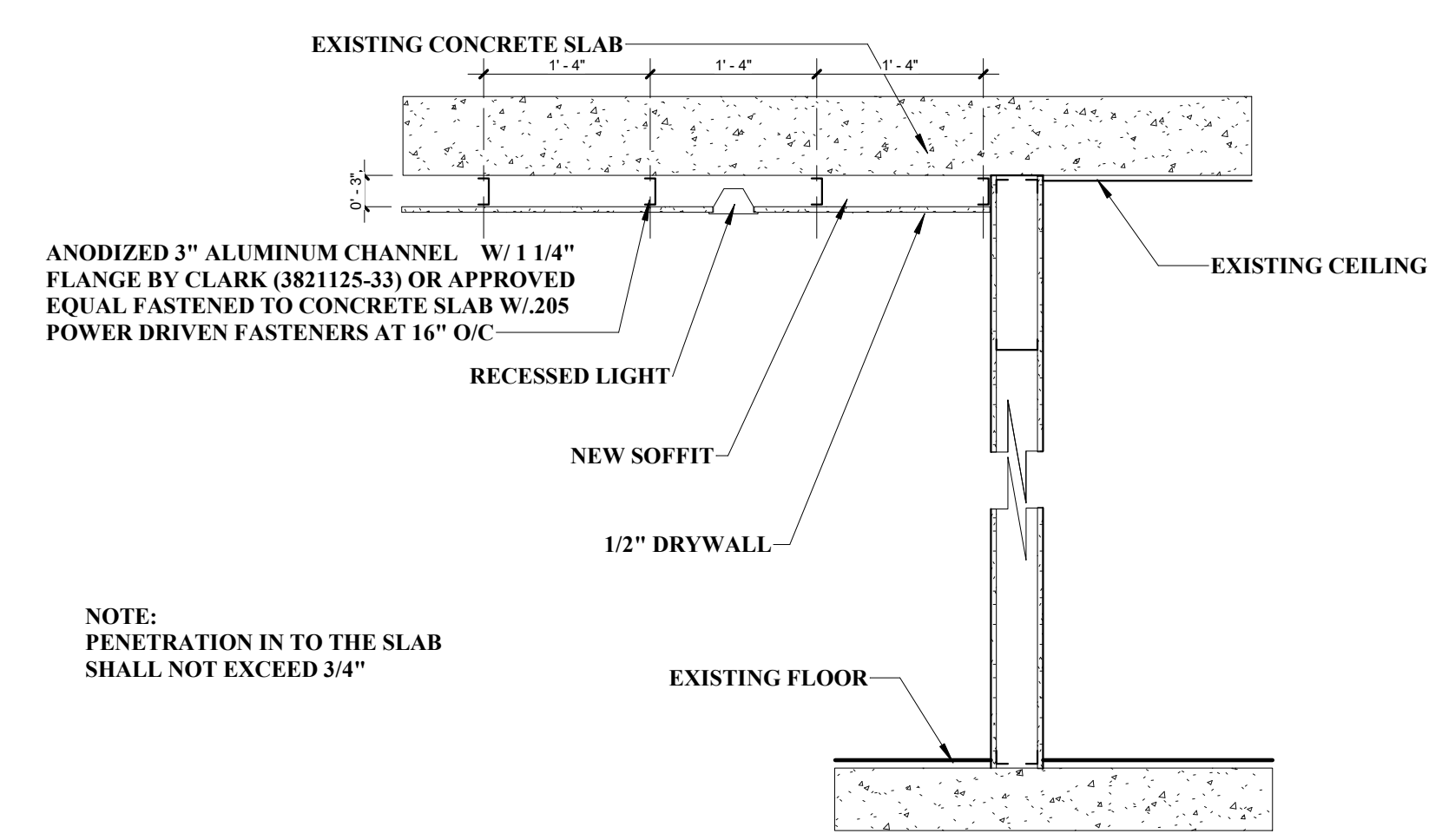
A-104



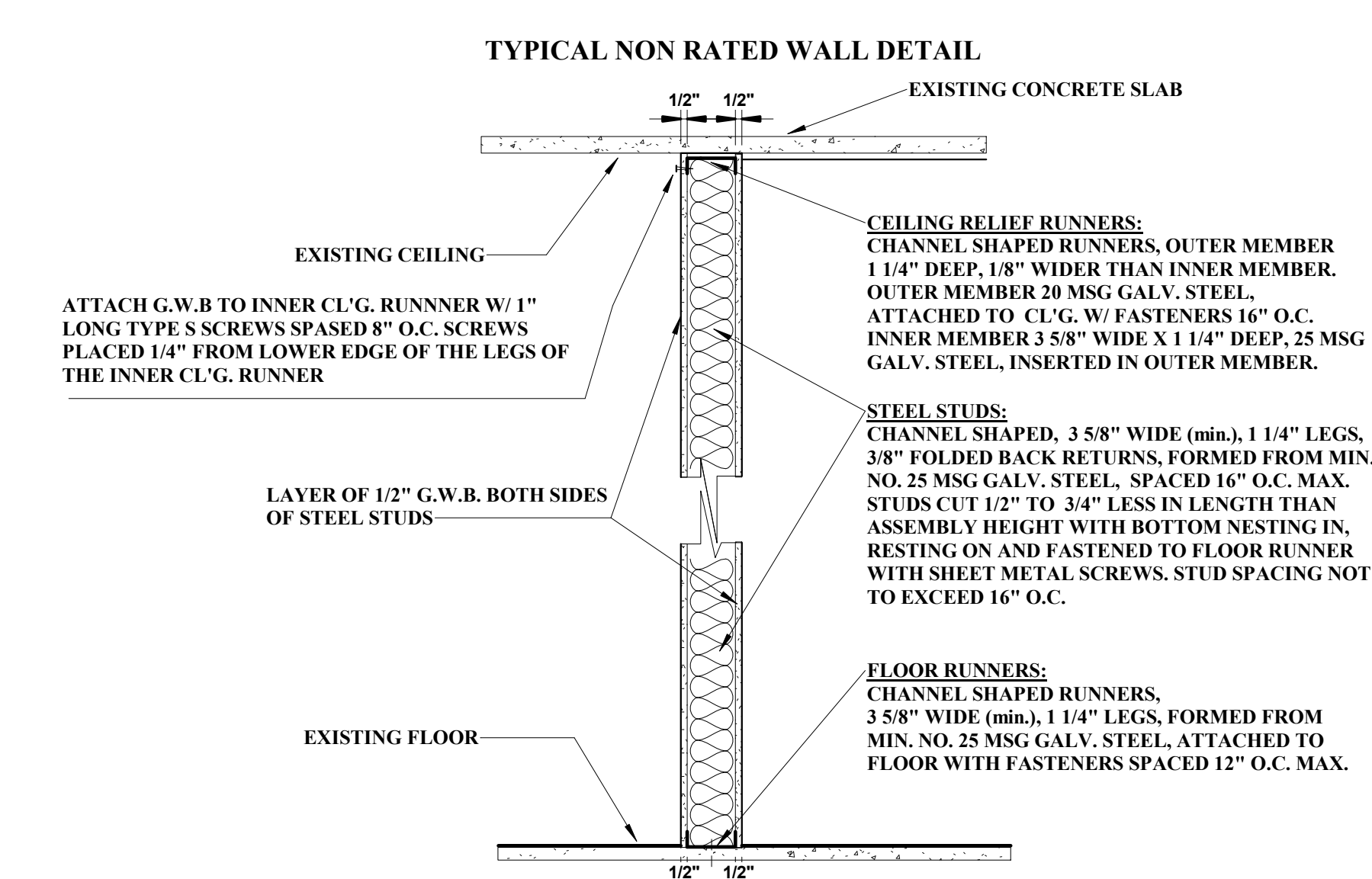
1 REFLECTED CEILING PLAN - PROPOSED CONDITIONS
 1/4" = 1'-0"



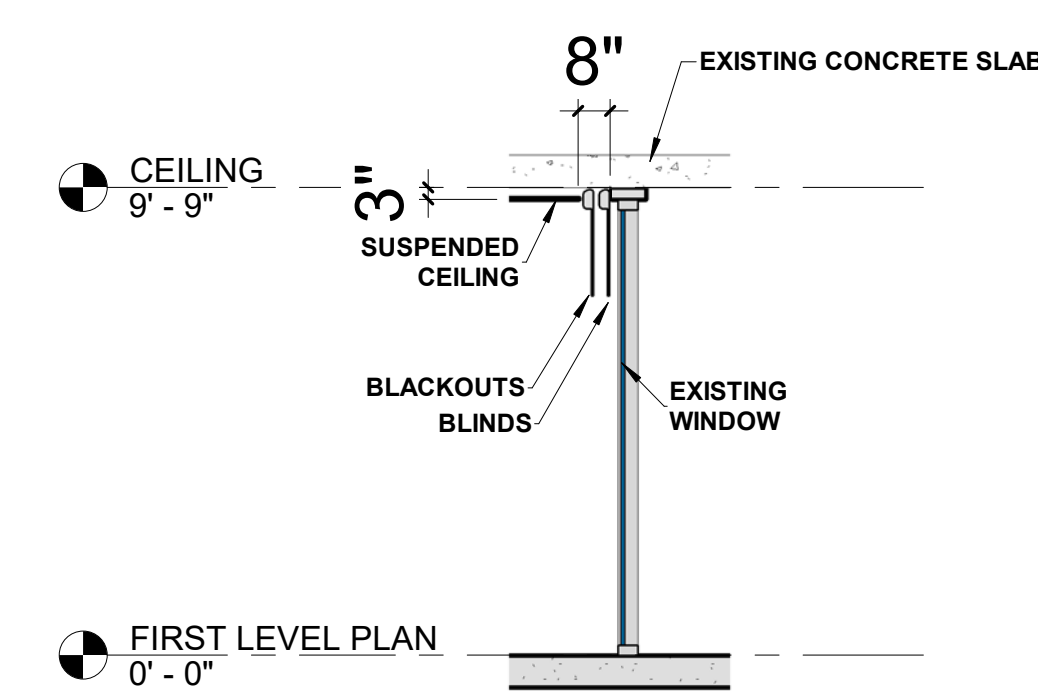
2 TYPICAL CEILING DETAIL 1 - BLINDS
 3/4" = 1'-0"



3 CEILING SOFFIT DETAIL
 3/4" = 1'-0"

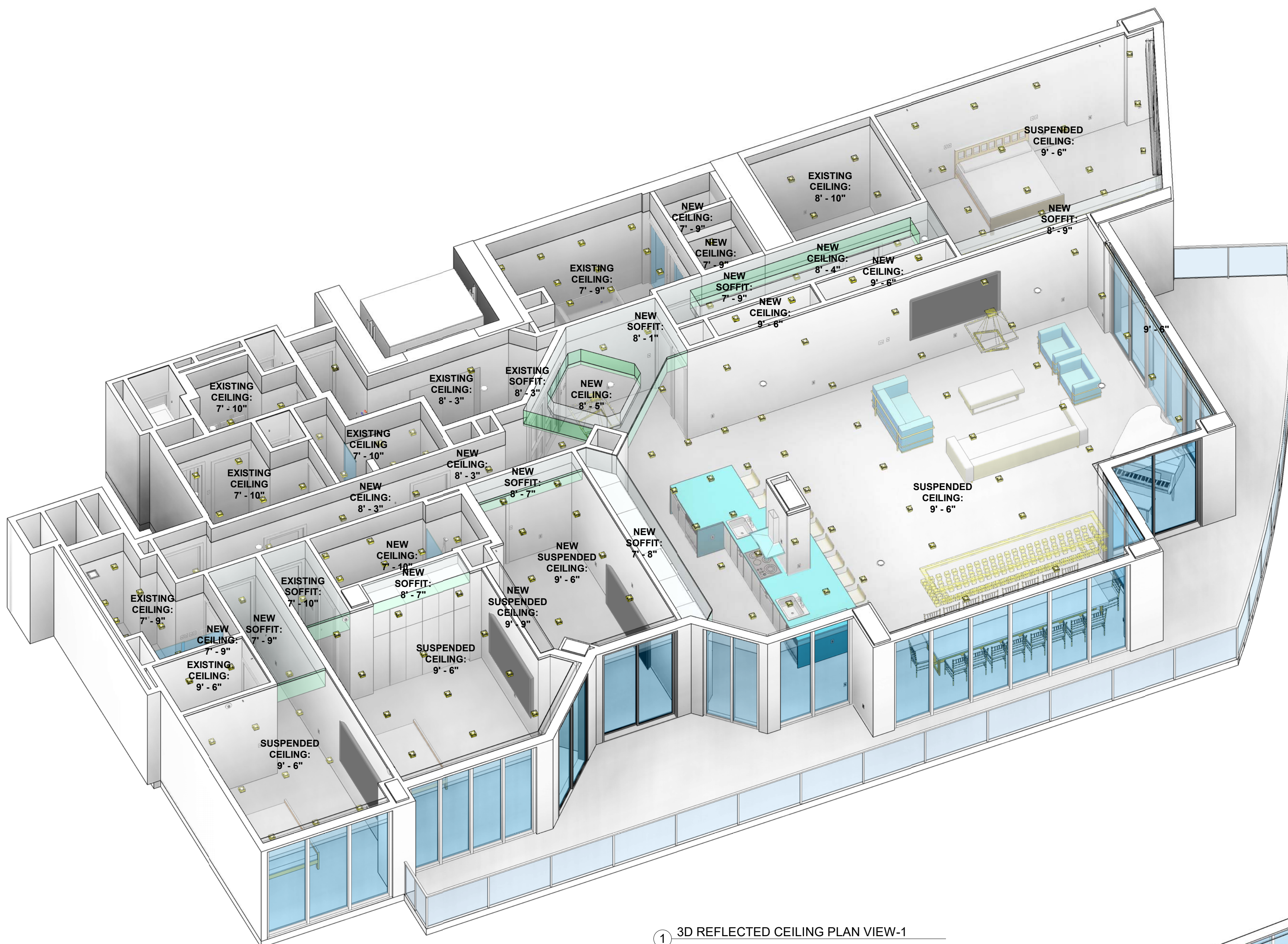


4 TYPICAL NON RATED WALL DETAIL
 1" = 1'-0"

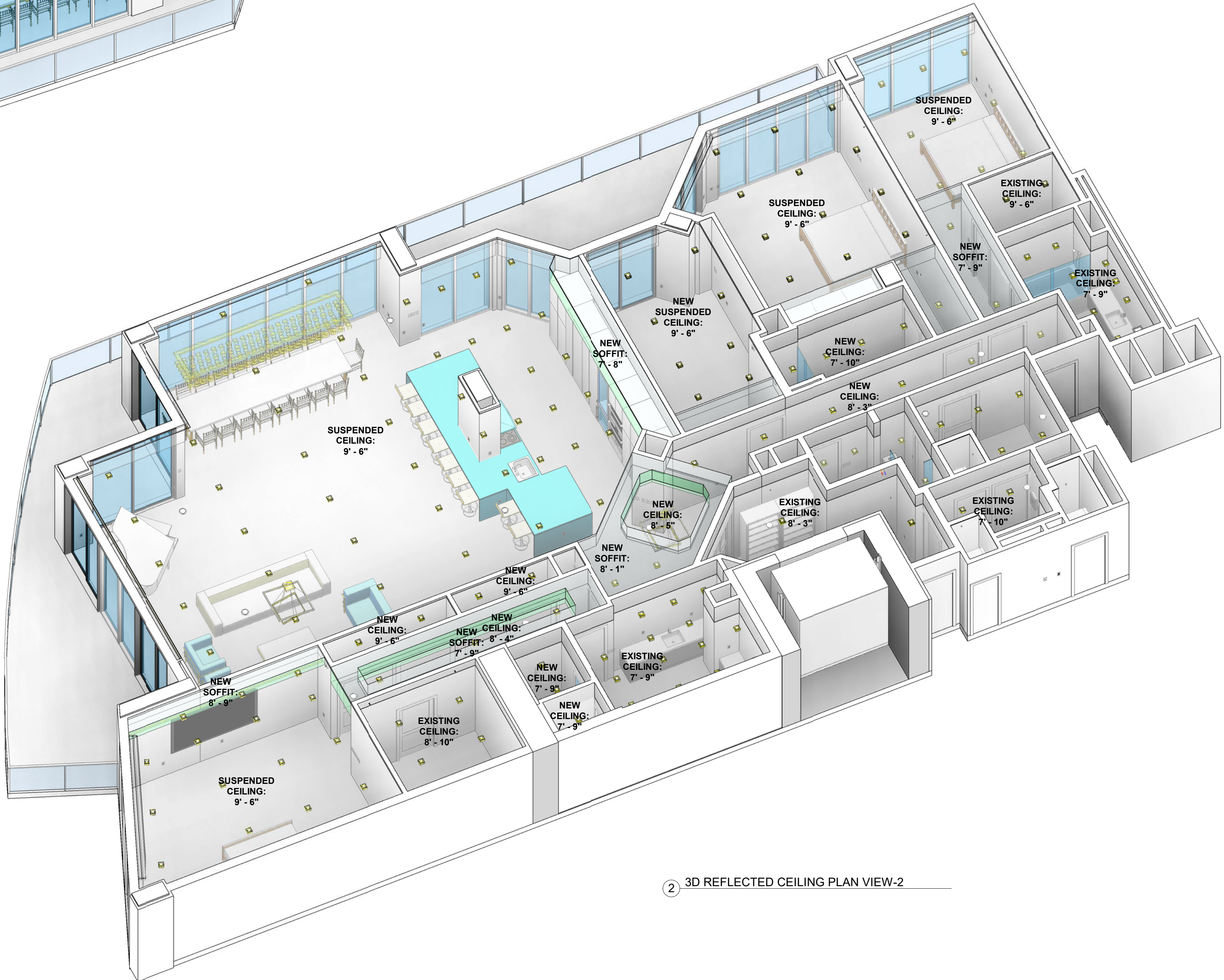


5 TYPICAL CEILING DETAIL 2 - BLACKOUTS
 1/4" = 1'-0"

FIRST LEVEL PLAN
 0' - 0"



1 3D REFLECTED CEILING PLAN VIEW-1



2 3D REFLECTED CEILING PLAN VIEW-2

REV	DATE	DESCRIPTION

Copyright 2023
 #####
 #####, LLC
 All rights reserved

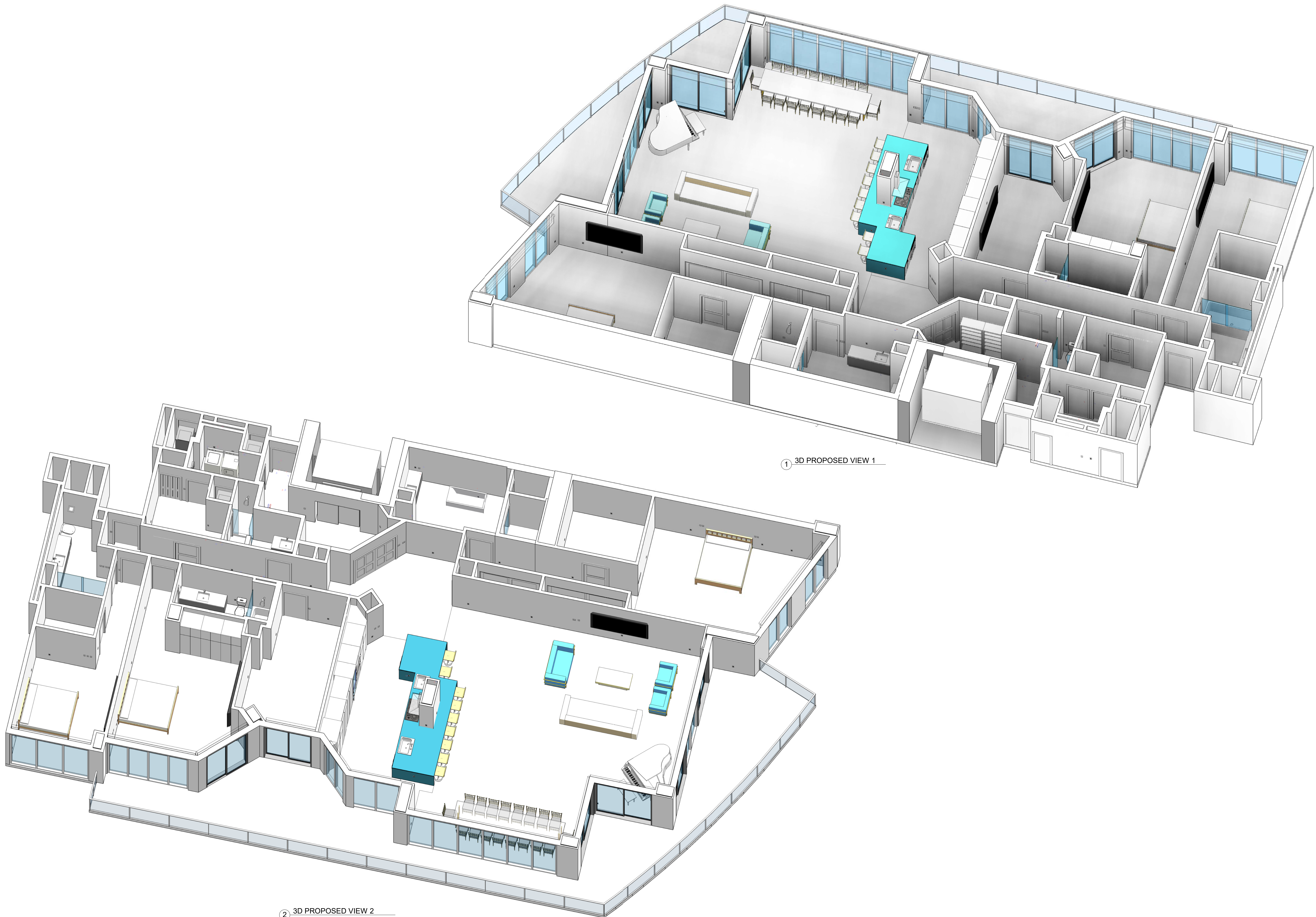
ARCHITECTURE
 #####
 #####
 ##### Street, Suite ###
 North Miami Beach, FL 33160
 www.#####.com
 #####

10225 COLLINS AVE.
 UNIT 1402
 BAL HARBOUR, FL 33154

FOLIO: 12-2226-041-0350
 UNIT OWNER:
 PRIVATE OWNER

**3D REFLECTED
 CEILING PLAN**

08/10/2023 Scale



① 3D PROPOSED VIEW 1

② 3D PROPOSED VIEW 2

REV	DATE	DESCRIPTION

Copyright 2023
 #####
 #####, LLC
 All rights reserved

ARCHITECTURE
 #####
 ##### Street, Suite ###
 North Miami Beach, FL 33160
 www.#####.com
 #####

10225 COLLINS AVE.
 UNIT 1402
 BAL HARBOUR, FL 33154

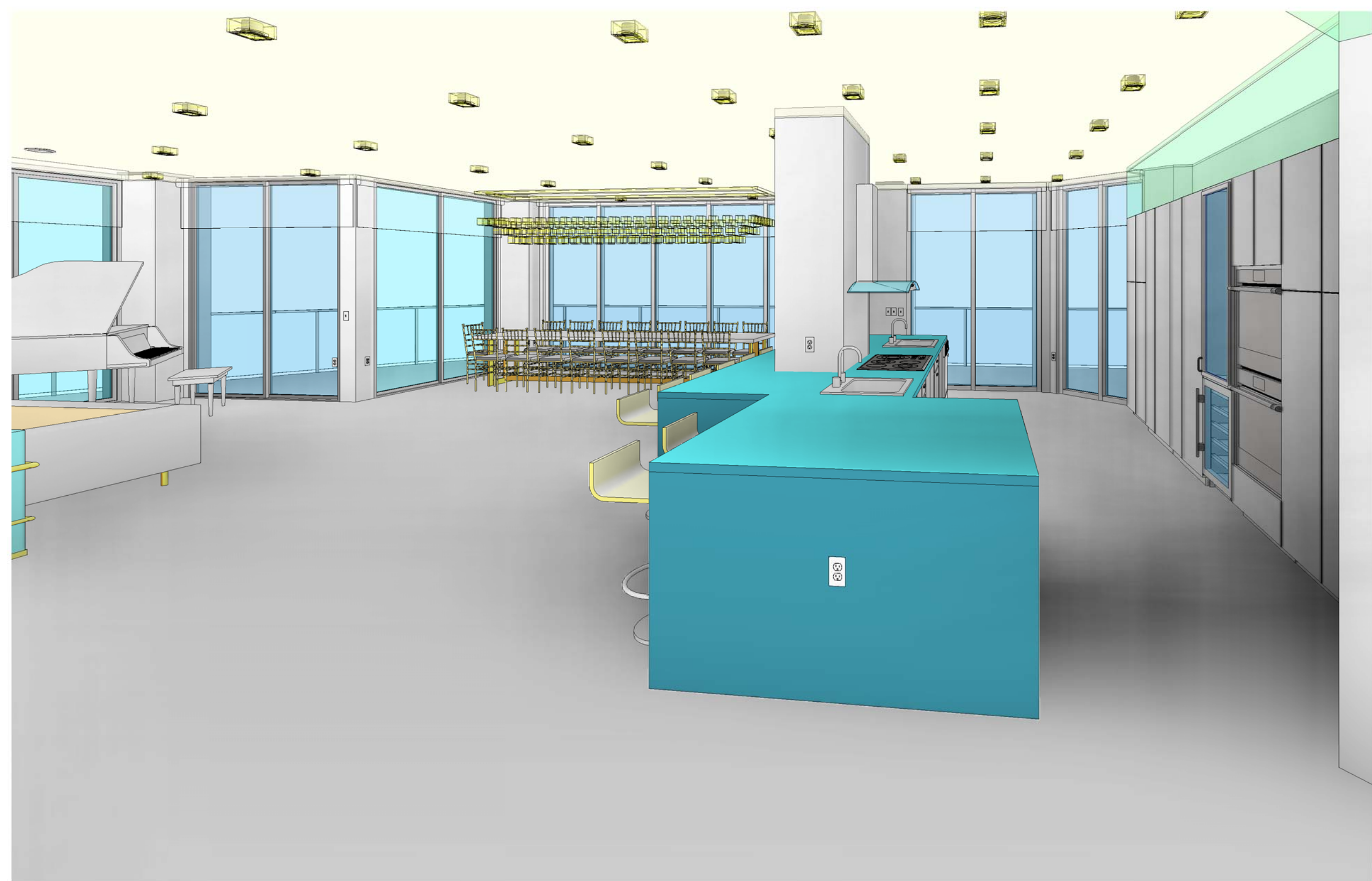
FOLIO: 12-2226-041-0350
 UNIT OWNER:
 PRIVATE OWNER

**3D PROPOSED -
 VIEWS**

08/10/2023 Scale



① 3D VIEW-1



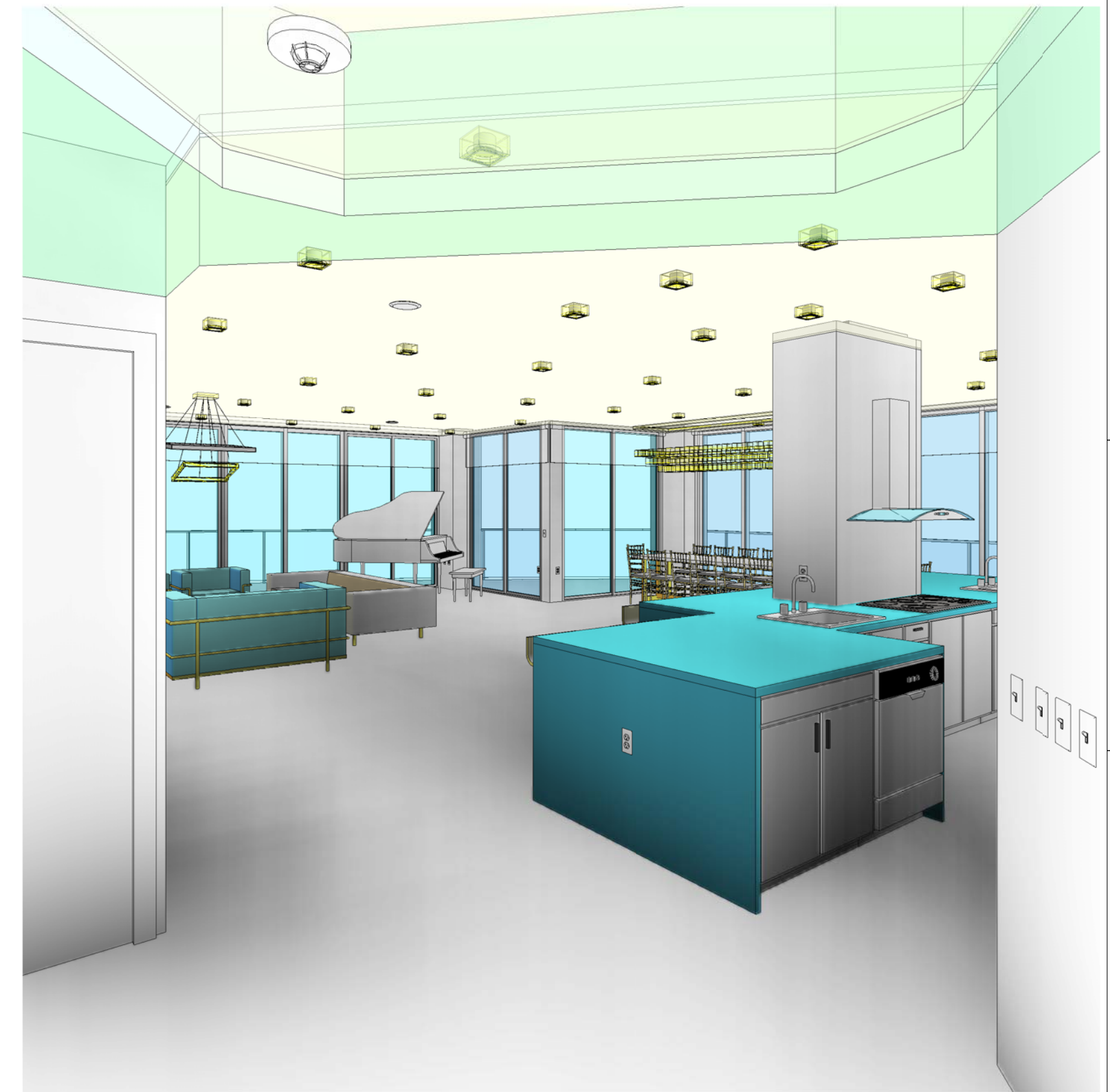
② 3D VIEW-2



③ 3D VIEW-3



⑤ 3D VIEW-4



④ 3D VIEW-5

REV	DATE	DESCRIPTION

Copyright 2023
 #####
 #####, LLC
 All rights reserved

ARCHITECTURE
 #####
 #####
 ##### Street, Suite ###
 North Miami Beach, FL 33160
 www.#####.com
 #####

10225 COLLINS AVE.
 UNIT 1402
 BAL HARBOUR, FL 33154

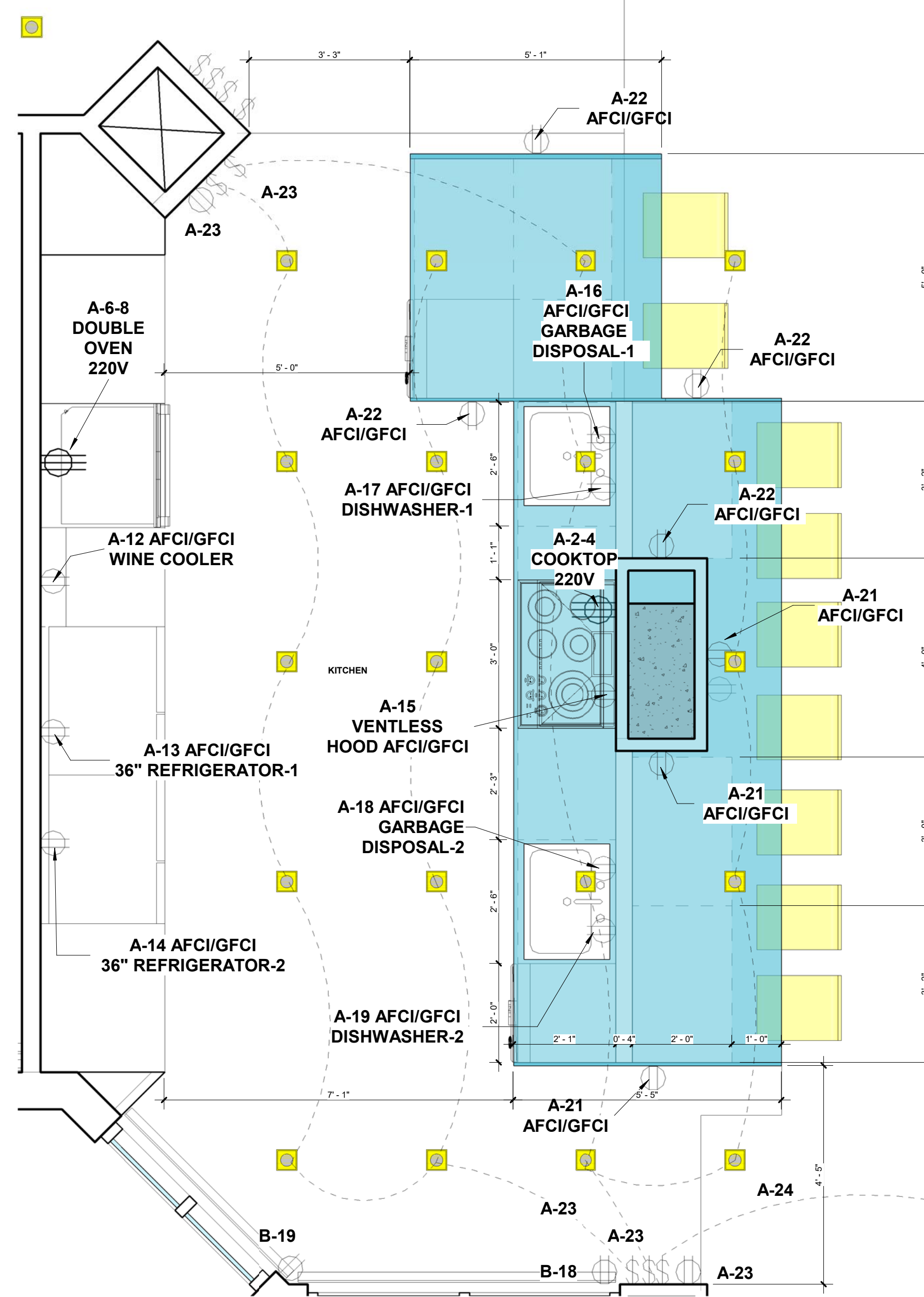
FOLIO: 12-2226-041-0350
 UNIT OWNER:
 PRIVATE OWNER

**3D PROPOSED -
 INTERIOR VIEWS**

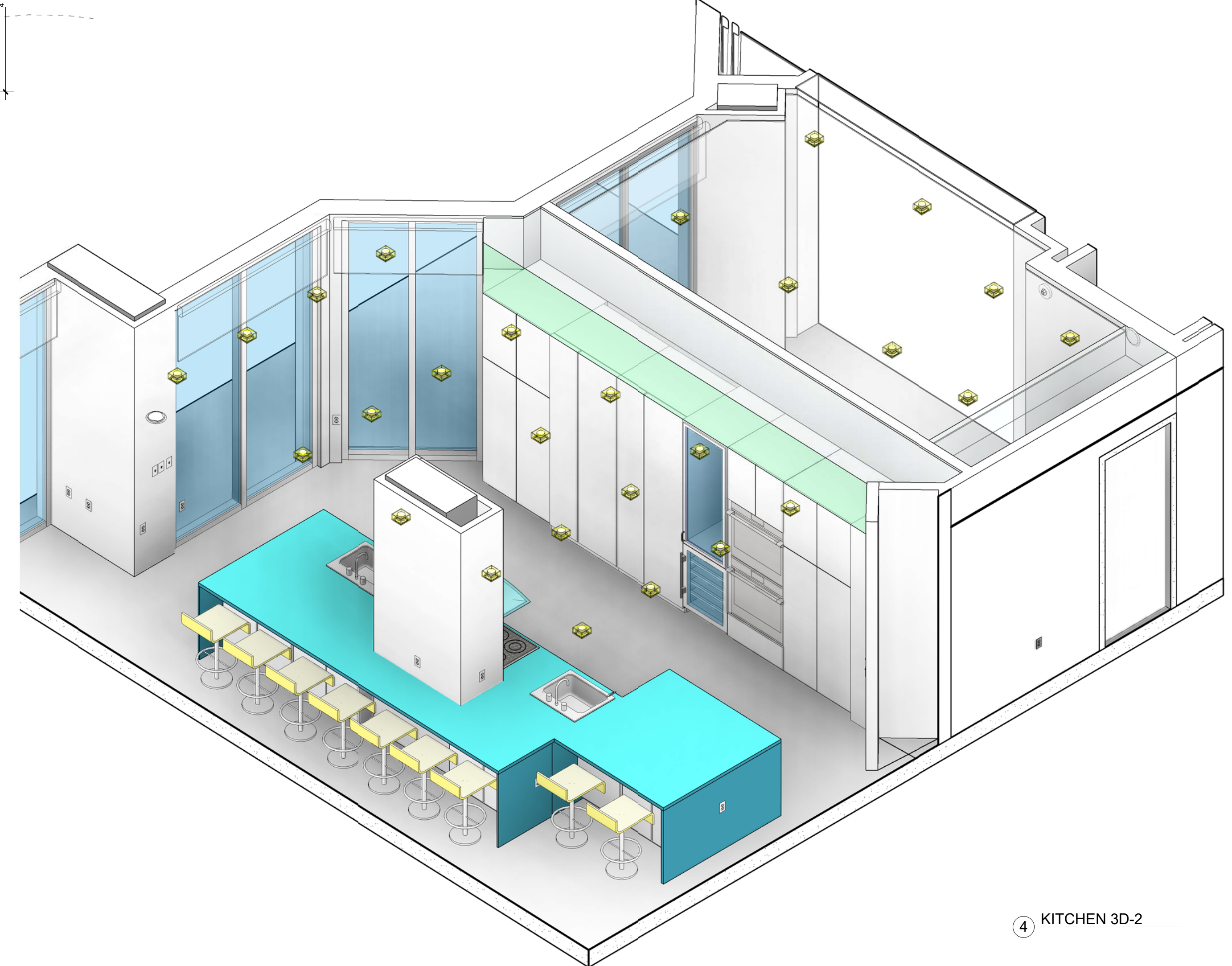
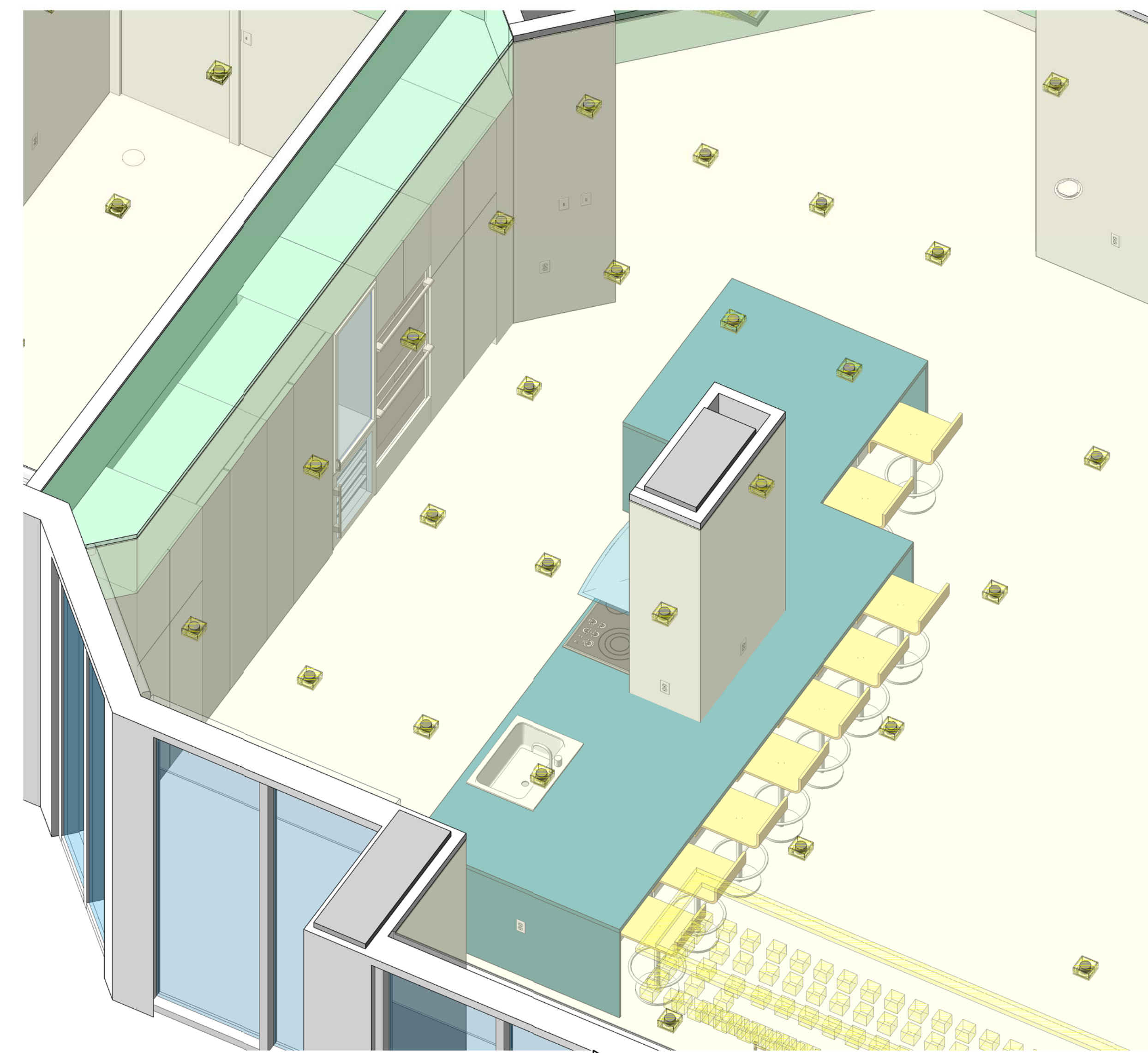
08/10/2023 Scale

ELECTRICAL NOTES:

COOKTOP	CIRCUIT - 2-4
DOUBLE OVEN	CIRCUIT - 6-8
WINE COOLER	CIRCUIT - 12
36" REFRIGERATOR	CIRCUIT - 13
36" REFRIGERATOR	CIRCUIT - 14
VENTLESS HOOD	CIRCUIT - 15
GARBAGE DISPOSAL	CIRCUIT - 16
DISHWASHER	CIRCUIT - 17
GARBAGE DISPOSAL	CIRCUIT - 18
DISHWASHER	CIRCUIT - 19
AFCI/GFCI - 7-PC	CIRCUIT - 21-22
KITCHEN LIGHTING	CIRCUIT - 23



1 KITCHEN REMODELING PLAN
1/2" = 1'-0"



4 KITCHEN 3D-2

3 KITCHEN 3D-1

REV	DATE	DESCRIPTION

Copyright 2023

#####, LLC
All rights reserved

ARCHITECTURE

Street, Suite ###
North Miami Beach, FL 33160
www.#####.com
#####

10225 COLLINS AVE.
UNIT 1402
BAL HARBOUR, FL 33154

FOLIO: 12-2226-041-0350
UNIT OWNER:
PRIVATE OWNER

**KITCHEN
REMODELING
PLAN**

08/10/2023 Scale 1/2" = 1'-0"

A-108

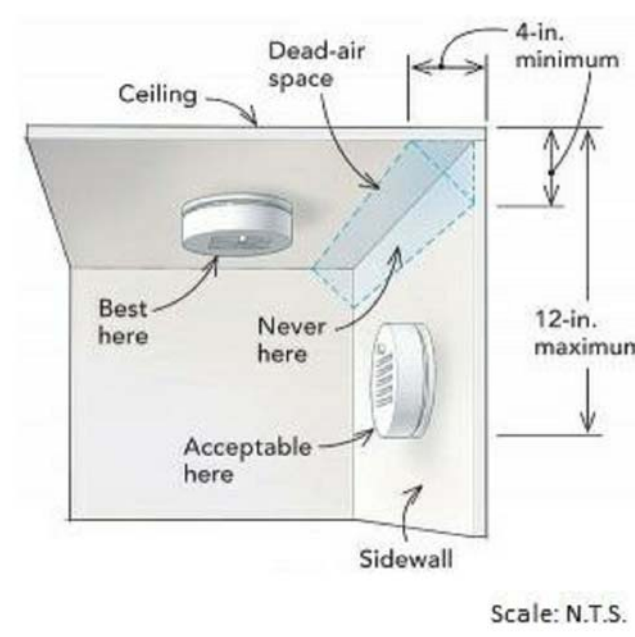
SCOPE OF WORK:

1. INSTALL 200 AMP ELECTRICAL PANEL A IN LAUNDRY ROOM AREA
2. INSTALL 100 AMP ELECTRICAL SUB-PANEL B IN LAUNDRY ROOM AREA
3. INSTALLATION OF NEW ELECTRICAL OUTLETS THROUGHOUT THE UNIT, AS SHOWN
4. INSTALLATION OF NEW LIGHTING THROUGHOUT THE UNIT, AS SHOWN
5. INSTALLATION OF NEW APPLIANCES

NOTES:

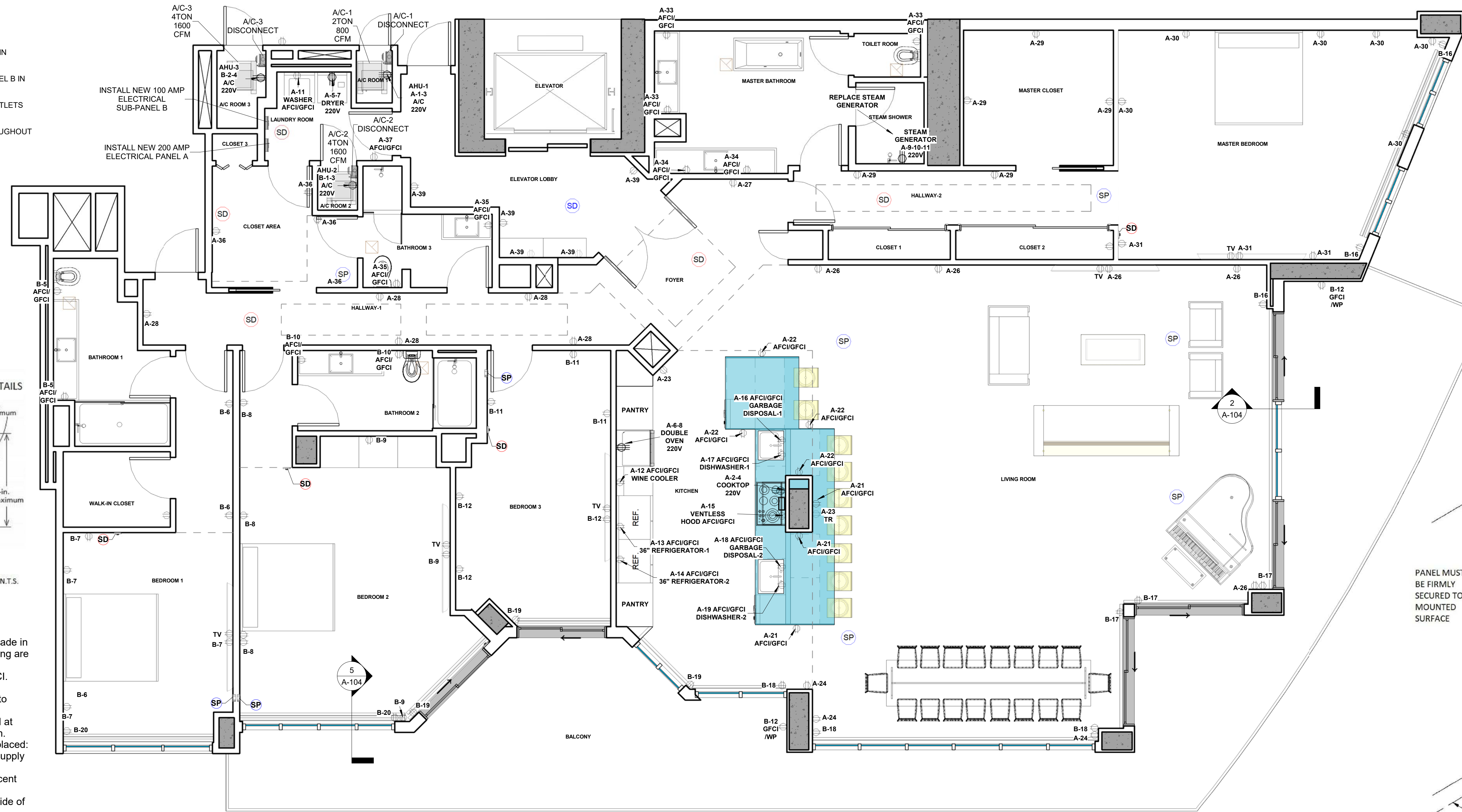
1. RECEPTACLES SPECIFIED IN NEC 210.8, 15 OR 20 AMPS SHALL HAVE GFCI PROTECTION.
2. ALL 120 SINGLE PHASE 15 OR 20 AMPS BRANCH CIRCUITS SPECIFIED IN NEC 210.12 (B) SHALL BE PROTECTED BY AFCI BREAKERS
3. ALL RECEPTACLES SPECIFIED IN NEC 210.52, 120 V 15 OR 20 AMPS, SHALL BE LISTED TAMPER-RESISTANT RECEPTACLES (NEC 406.11)
4. INSTALL DUAL FUNCTION AFCI/GFCI CIRCUIT BREAKERS FOR KITCHEN APPLIANCES/OUTLETS & BATHROOMS APPLIANCES/OUTLETS.

SMOKE DETECTOR INSTALLATION DETAILS



SMOKE DETECTOR NOTES:

1. Smoke Detector wiring shall be made in a way, if one is activated, all remaining are activated.
2. All Smoke Detectors shall be AFCI.
3. For the ceiling mount, the Smoke Detector should be placed as close to center of the ceiling as possible.
4. Smoke Detector should be placed at least 4" from any corner wall junction.
5. Smoke Detector should NOT be placed:
 - a) Closer than 3 feet from an air supply diffuser or an air vent
 - b) Closer than 1 foot from fluorescent light fixture.
6. Smoke Detectors are required inside of all sleeping areas
7. Smoke Detectors to be interconnected, battery back up and 36" away from any vent or fan blade tip.

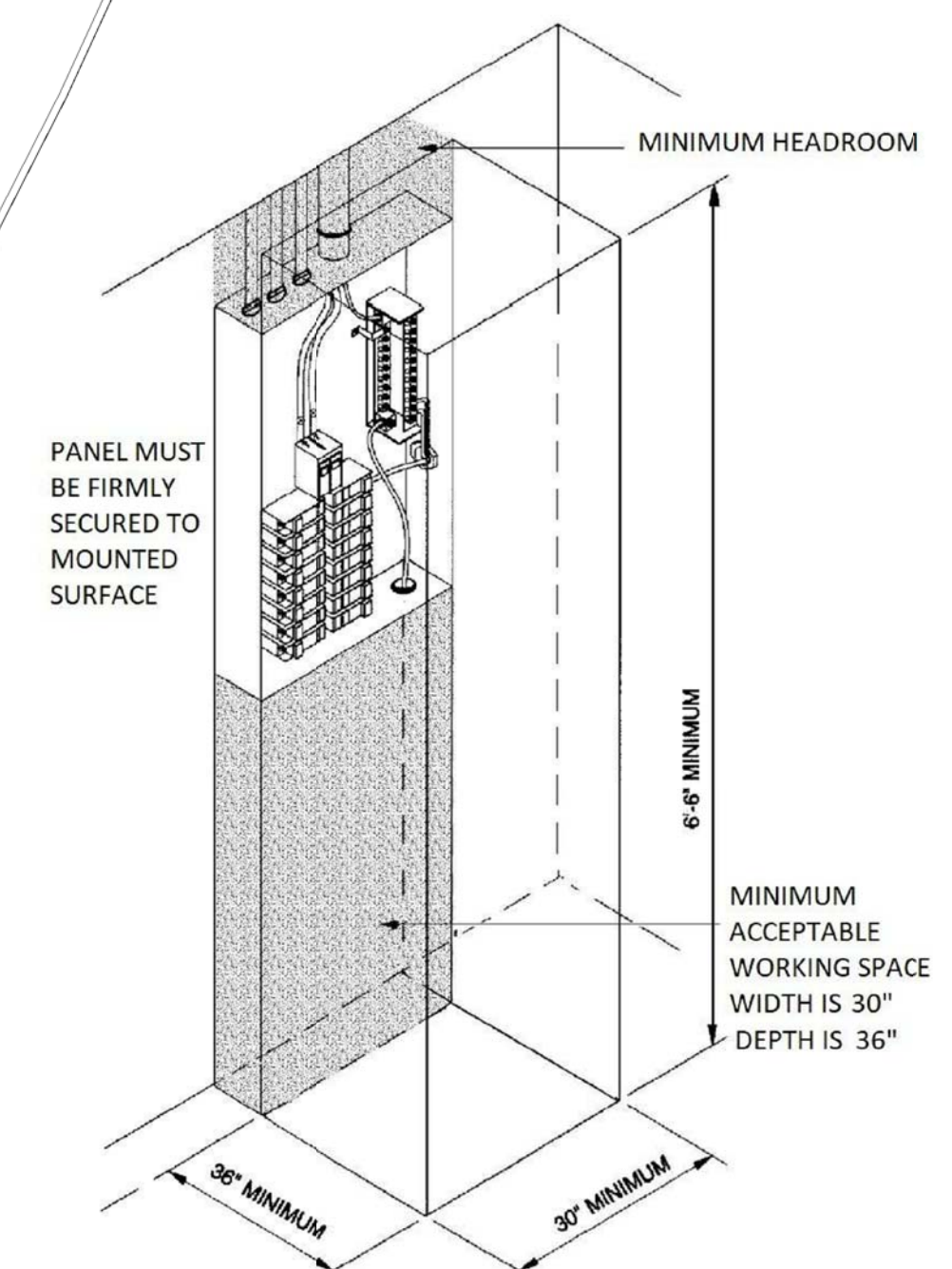


NOTES:

BUILDING CODE: FBC 2020 7TH EDITION & FPPC 2020, 7TH EDITION
 OCCUPANCY TYPE: R-2
 TYPE OF CONSTRUCTION: 1
 CLASSIFICATION OF WORK: LEVEL 2 ALTERATION

LEGEND:

- SD - SMOKE DETECTOR
- SP - SPEAKER



NEW ELECTRICAL PANEL 'A' UNIT 1402				
TYPE	MAINS	CIRCUITS	AMPS	POLES
AHU-1 - 2 TON UNIT	A-1-3	50	2	
COOKTOP	A-2-4	40	2	
DRYER	A-5-7	30	2	
30" DOUBLE OVEN	A-6-8	50	2	
STEAM GENERATOR	A-9-10	60	2	
WASHER	AFCI/GFCI A-11	20	1	
WINE COOLER	AFCI/GFCI A-12	20	1	
36" REFRIGERATOR-1	AFCI/GFCI A-13	20	1	
36" REFRIGERATOR-2	AFCI/GFCI A-14	20	1	
VENTLESS HOOD	AFCI/GFCI A-15	20	1	
GARBAGE DISPOSAL - 1	AFCI/GFCI A-16	20	1	
24" DISHWASHER - 1	AFCI/GFCI A-17	20	1	
GARBAGE DISPOSAL - 2	AFCI/GFCI A-18	20	1	
24" DISHWASHER - 2	AFCI/GFCI A-19	20	1	
KITCHEN SMALL APPLIANCES AFCI/GFCI 7-pc	AFCI/GFCI A-21-22	20	1	
KITCHEN LIGHTING & OUTLETS	AFCI A-23	20	1	
DINING AREA OUTLETS & LIGHTING	AFCI A-24	20	1	
LIVING ROOM LIGHTING	AFCI A-25-26	20	1	
LIVING ROOM OUTLETS	AFCI A-25-26	20	1	
FOYER LIGHTING & OUTLETS	AFCI A-27	20	1	
HALLWAY-1 OUTLETS & LIGHTING	AFCI A-28	20	1	
HALLWAY-2, MASTER CLOSET OUTLETS & LIGHTING	AFCI A-29	20	1	
MASTER BEDROOM OUTLETS & LIGHTING	AFCI A-30-31	20	1	
MASTER BATHROOM FAN & LIGHTING	AFCI/GFCI A-32	20	1	
MASTER BATHROOM GFCI	AFCI/GFCI A-33-34	20	1	
BATHROOM 3 GFCI, FAN & LIGHTING	AFCI/GFCI A-35	20	1	
CLOSET OUTLETS & LIGHTING	AFCI A-36	20	1	
LAUNDRY ROOM GFCI OUTLETS & LIGHTING	AFCI/GFCI A-37	20	1	
SMOKE DETECTORS	AFCI A-38	15	1	
ELEVATOR LOBBY OUTLETS & LIGHTING	AFCI A-39	20	1	
100 AMP SUB-PANEL B	40-41-42	100	3	

PANEL OVERCURRENT PROTECTION: 175 AMP
 SIZE OF FEEDER CONDUCTOR: 3/0 AL (UL)

ELECTRICAL LOAD CALCULATIONS PANEL "A" UNIT 1402			
DESCRIPTION	TOTAL VA	LOAD VA	LIVING AREA SF
KITCHEN	2,000		
DRYER	3,000		
30" DOUBLE OVEN	6,700		
36" REFRIGERATOR-1	1,000		
36" REFRIGERATOR-2	1,000		
STEAM GENERATOR	12,000		
COOKTOP	5,500		
WASHER	1,500		
DISHWASHER-1	1,000		
GARBAGE DISPOSAL-1	500		
DISHWASHER-2	1,000		
GARBAGE DISPOSAL-2	500		
VENTLESS HOOD	1,000		
KITCHEN LIGHTING	700		
KITCHEN AREA OUTLETS	600		
DINING AREA OUTLETS	600		
DINING AREA LIGHTING	400		
FOYER LIGHTING	400		
FOYER OUTLETS	400		
LIVING ROOM LIGHTING	800		
LIVING ROOM OUTLETS	800		
HALLWAY-1 LIGHTING	400		
HALLWAY-1 OUTLETS	400		
HALLWAY-2 LIGHTING	400		
HALLWAY-2 OUTLETS	400		
BATHROOM 3 GFCI, FAN	1,500		
BATHROOM 3 LIGHTING	400		
LAUNDRY ROOM GFCI OUTLETS	1,500		
LAUNDRY ROOM LIGHTING	400		
CLOSET OUTLETS	400		
CLOSET LIGHTING	400		
MASTER BEDROOM OUTLETS	600		
MASTER BEDROOM LIGHTING	600		
MASTER CLOSET OUTLETS	400		
MASTER CLOSET LIGHTING	20		
MASTER BATHROOM GFCI	1,500		
MASTER BATHROOM FAN & LIGHTING	600		
WINE COOLER	850		
ELEVATOR LOBBY OUTLETS	500		
ELEVATOR LOBBY LIGHTING	400		
SMOKE DETECTORS	500		
SUBTOTAL:	53,950		
First 10kVA at 100%	10,000		
Rest at 40%	17,580		
AC load at 100%	2,700		
TOTAL:	30,280	VA	
Panel load (208V)	84.1	Amps	

NEW ELECTRICAL SUBPANEL 'B' UNIT 1402				
TYPE	MAINS	CIRCUITS	AMPS	POLES
AHU-2 4 TON UNIT	B-1-3	50	2	
AHU-3 4 TON UNIT	B-2-4	50	2	
BATHROOM 1 GFCI, FAN & LIGHTING	AFCI/GFCI B-5	20	1	
BEDROOM 1, WALK-IN CLOSET OUTLETS & LIGHTING	AFCI B-6-7	20	1	
BEDROOM 2 OUTLETS & LIGHTING	AFCI B-8-9	20	1	
BATHROOM 2 GFCI, FAN & LIGHTING	AFCI/GFCI B-10	20	1	
BEDROOM 3 OUTLETS & LIGHTING	AFCI B-11-12	20	1	
BALCONY OUTLETS	GFCI/WP B-15	20	1	
ELECTRIC CURTAIN SYSTEM OUTLETS	AFCI B-16, 17, 18, 19-20	20	1	
SPACES	AFCI B-21-30	20	1	

* All receptacles are TR

ELECTRICAL LOAD CALCULATIONS SUB-PANEL "B" UNIT 1402			
DESCRIPTION	TOTAL VA	LOAD VA	LIVING AREA SF
BEDROOM 1, WALK-IN CLOSET OUTLETS	500		
BEDROOM 1, WALK-IN CLOSET LIGHTING	500		
BATHROOM 1 GFCI, FAN	1,500		
BATHROOM 1 LIGHTING	500		
BEDROOM 2, WALK-IN CLOSET OUTLETS	500		
BEDROOM 2, WALK-IN CLOSET LIGHTING	500		
BATHROOM 2 GFCI, FAN	1,500		
BATHROOM 2 LIGHTING	500		
BEDROOM 3, WALK-IN CLOSET OUTLETS	500		
BEDROOM 3, WALK-IN CLOSET LIGHTING	500		
ELECTRIC CURTAIN SYSTEM OUTLETS	3,400		
BALCONY OUTLETS WP/AFCI/GFCI	1,500		
SUBTOTAL:	11,900		
First 10kVA at 100%	10,000		
Rest at 40%	760		
AC load at 100%	12,200		
TOTAL:	22,960	VA	
Panel load (208V)	63.7	Amps	

TOTAL DEMAND LOAD: 53,240 VA

SERVICE LOAD: 53,240/(208V)(1.732) = 147.8 AMPS

FEEDER: 4#2/0 CU, 1#1/0 CU (N) AND 1#6 CU (G) IN 2" C

PANEL OVERCURRENT PROTECTION: 150 AMP

1 ELECTRICAL POWER PLAN
 1/4" = 1'-0"

REV	DATE	DESCRIPTION

Copyright 2023
 #####
 #####, LLC
 All rights reserved

ARCHITECTURE
 #####
 #####
 ##### Street, Suite #
 North Miami Beach, FL 33160
 www.#####.com
 #####

10225 COLLINS AVE.
 UNIT 1402
 BAL HARBOUR, FL 33154

FOLIO: 12-2226-041-0350
 UNIT OWNER:
 PRIVATE OWNER

ELECTRICAL - POWER PLAN

08/10/2023 Scale 1/4" = 1'-0"

E-201

- SCOPE OF WORK:**
1. INSTALL 200 AMP ELECTRICAL PANEL A IN LAUNDRY ROOM AREA
 2. INSTALL 100 AMP ELECTRICAL SUB-PANEL B IN LAUNDRY ROOM AREA
 3. INSTALLATION OF NEW ELECTRICAL OUTLETS THROUGHOUT THE UNIT, AS SHOWN
 4. INSTALLATION OF NEW LIGHTING THROUGHOUT THE UNIT, AS SHOWN
 5. INSTALLATION OF NEW APPLIANCES

- NOTES:**
1. RECEPTACLES SPECIFIED IN NEC 210.8, 15 OR 20 AMPS SHALL HAVE GFCI PROTECTION.
 2. ALL 120 SINGLE PHASE 15 OR 20 AMPS BRANCH CIRCUITS SPECIFIED IN NEC 210.12 (B) SHALL BE PROTECTED BY AFCI BREAKERS
 3. ALL RECEPTACLES SPECIFIED IN NEC 210.52 120 V 15 OR 20 AMPS, SHALL BE LISTED TAMPER-RESISTANT RECEPTACLES (NEC 406.11)
 4. INSTALL DUAL FUNCTION AFCI/GFCI CIRCUIT BREAKERS FOR KITCHEN APPLIANCES/OUTLETS & BATHROOMS APPLIANCES/OUTLETS.



- SMOKE DETECTOR NOTES:**
1. Smoke Detector wiring shall be made in a way, if one is activated, all remaining are activated.
 2. All Smoke Detectors shall be AFCI.
 3. For the ceiling mount, the Smoke Detector should be placed as close to center of the ceiling as possible.
 4. Smoke Detector should be placed at least 4" from any corner wall junction.
 5. Smoke Detector should NOT be placed:
 - a) Closer than 3 feet from an air supply diffuser or an air vent
 - b) Closer than 1 foot from fluorescent light fixture.
 6. Smoke Detectors are required inside of all sleeping areas
 7. Smoke Detectors to be interconnected, battery back up and 36" away from any vent or fan blade tip.

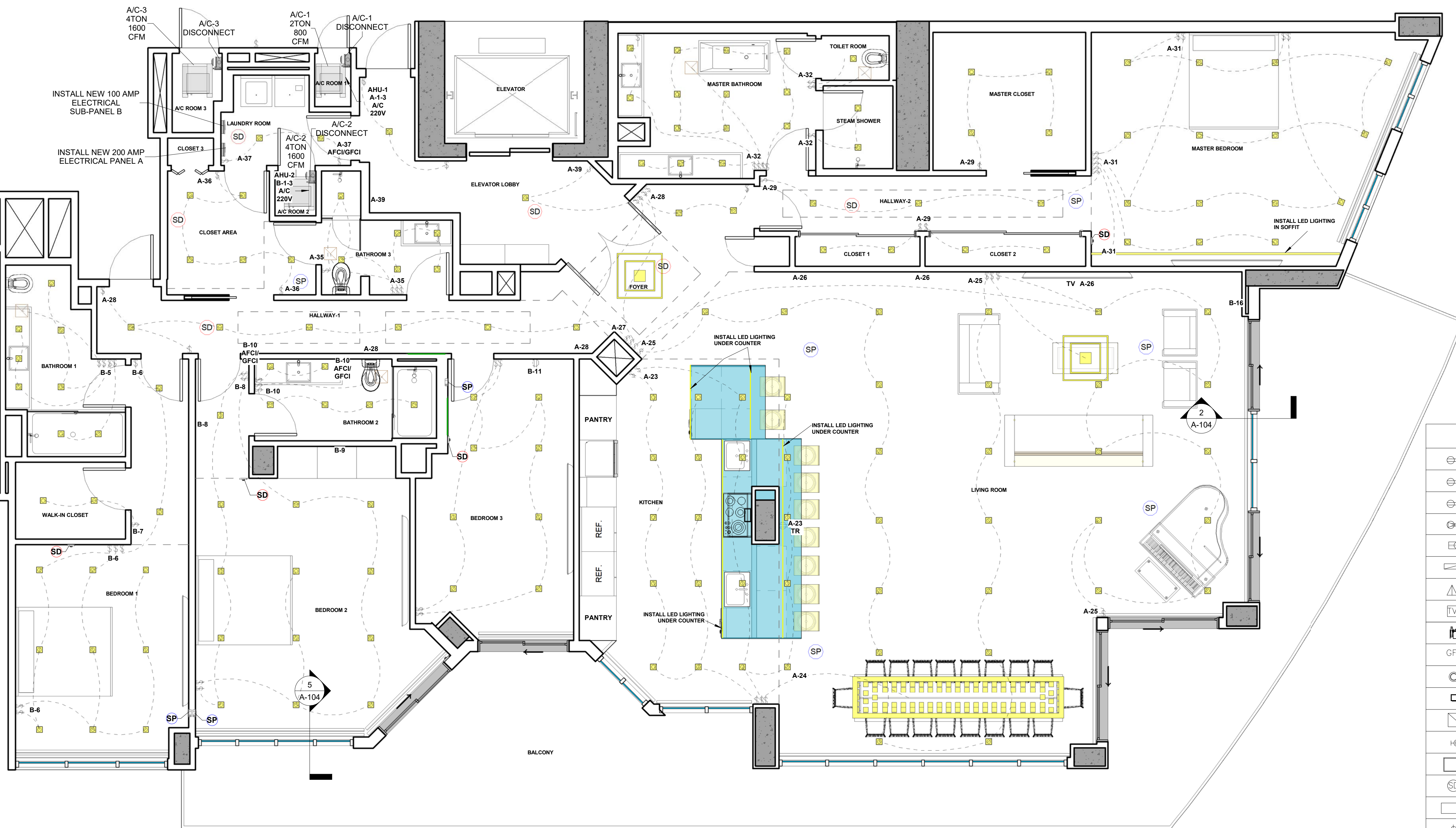
LED STRIP LIGHTS & TRASFORMER INFO

Specifications: Hybrid 2 Kits

Series	H2-KIT
Input voltage	120V AC, 60Hz
Colors	WW/WH
Lumens	See individual product
Wattage	2.3W/ft
Kit length	3ft / 6ft / 12ft / 18ft / 30ft / 45ft
Dimensions	9/16" W x 1/4" H
Maximum run	150ft
Cutability	N/A
Dimming	10-100%
Rating	cETLus, Indoor/outdoor, IP65
Rated life	30,000 hours

*With most incandescent, low-voltage magnetic, and low-voltage electronic dimmers (minimum loads may apply). Per the NEC, switched wall outlets cannot be used with wall dimmers.
cETLus Listing is void if product is cut

512 WATTS 120V - PRIMARY
512 WATTS 12V - SECONDARY



1 ELECTRICAL LIGHTING PLAN
1/4" = 1'-0"

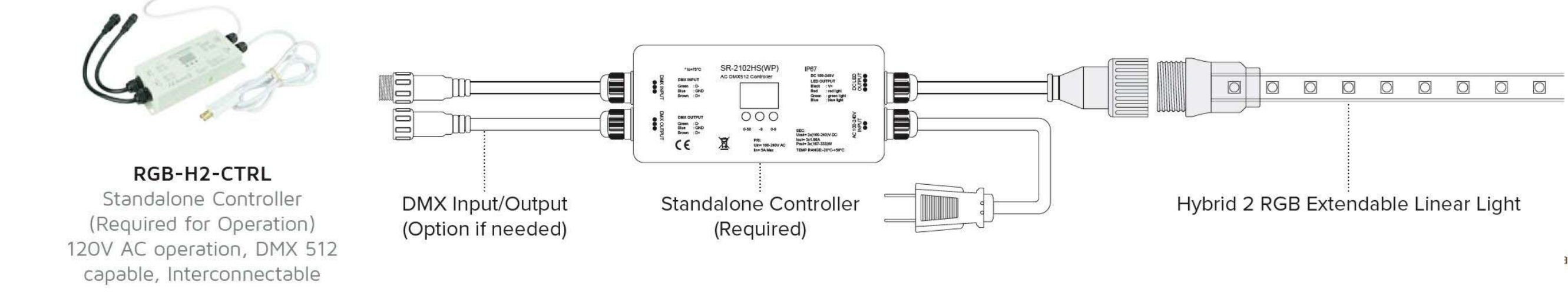
HYBRID 2 KITS

H2-KIT-3-WW	3ft length, 9W
H2-KIT-6-WW	6ft length, 18W
H2-KIT-12-WW	12ft length, 36W
H2-KIT-18-WW	18ft length, 54W
H2-KIT-30-WW	30ft length, 90W
H2-KIT-45-WW	45ft length, 135W

2700K Warm White LEDs
120V, 82 CRI, 145lm/ft

Hybrid 2 Kits include (1) Length of Hybrid 2 with molded male/female connectors, (1) 5ft Removable power cord, (1) Removable end cap, (1) Clear plastic mounting clip per foot of length

HYBRID 2 RGB BASIC SET UP



3 LED STRIP LIGHT SPECIFICATIONS
1/4" = 1'-0"

LED 2" TRIMLESS LUMINAIRE SELECTABLE CCT

ITEM	G-48414
DESCRIPTION	R2/RW/LED/TL/SCCT
COLOR TEMP	27, 30, 35, 41, 50k
OUTPUT LUMEN	600
BEAM ANGLE	40°
INPUT VOLTS	120V
WATTAGE	8W
EQUIV. WATTAGE	65W
CRI	>90
DIMMABLE	Yes
CUTOUT	2.56
OD	3.50
HEIGHT	2.55
mA	36v
OUTPUT VOLTS	180 mA

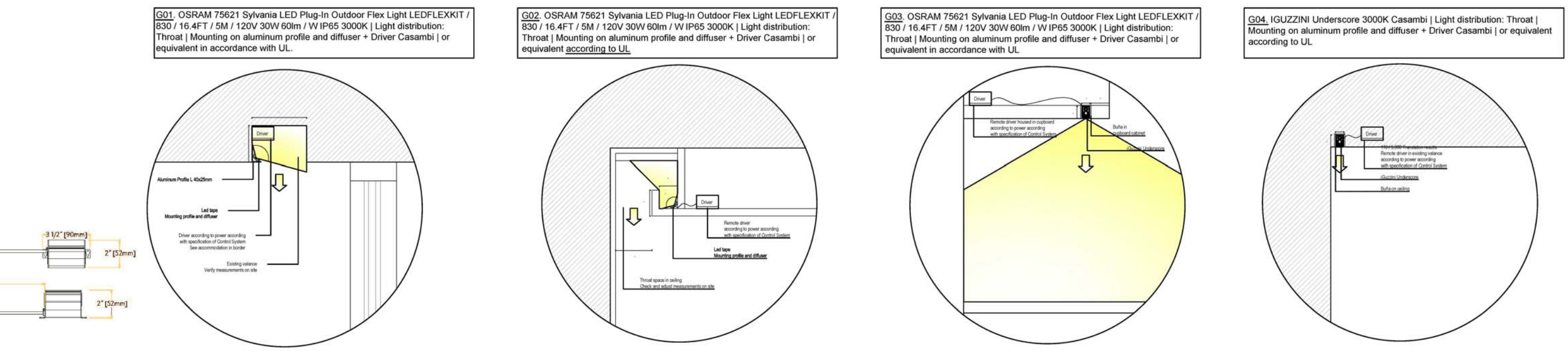
Goodlite

Accessories: Emergency LED Driver, New Construction Plate, Extension Cords.

Installation Guide:

Dimmable: 5% | Lifetime: 50,000 hours | Warranty: 3 years

Color options: SOFT WHITE 2700K, WARM WHITE 3000K, NEUTRAL WHITE 3500K, COOL WHITE 4000K, SUPER WHITE 5000K.



NOTES:

BUILDING CODE: FBC 2020 7TH EDITION & FPC 2020, 7TH EDITION
OCCUPANCY TYPE: R-2
TYPE OF CONSTRUCTION: 1
CLASSIFICATION OF WORK: LEVEL 2 ALTERATION

- LEGEND:**
- SD - SMOKE DETECTOR
 - SP - SPEAKER

ELECTRICAL LEGEND

[Symbol]	DUPLEX RECEPTACLE OUTLET
[Symbol]	DUPLEX RECEPTACLE OUTLET AFCI
[Symbol]	DUPLEX RECEPTACLE OUTLET GFCI
[Symbol]	DUPLEX RECEPTACLE OUTLET 220V
[Symbol]	DUPLEX RECEPTACLE OUTLET @ FLOOR
[Symbol]	ELECTRICAL PANEL
[Symbol]	TELEPHONE & DATA OUTLET
[Symbol]	TELEVISION OUTLET
[Symbol]	DISCONNECT SWITCH
[Symbol]	GROUND-FAULT INTERRUPTER
[Symbol]	CEILING LIGHTING FIXTURES
[Symbol]	EXTERIOR WALL MOUNTED LIGHT
[Symbol]	EXHAUST FAN
[Symbol]	WALL MOUNTED SCENCE LIGHTS
[Symbol]	NEW FLUORESCENT LIGHTING FIXTURE-SURFACE MTD.
[Symbol]	SMOKE DETECTOR
[Symbol]	SPEAKER
[Symbol]	WALL SWITCH
[Symbol]	WATER PROOF
[Symbol]	CLG FAN W/ LIGHT
[Symbol]	EMERGENCY LIGHT
[Symbol]	LED LIGHT LINEAR
[Symbol]	ELECTRICAL SERVICE/METER
[Symbol]	TANKLESS WATER HEATER 220V
[Symbol]	THERMOSTAT
[Symbol]	CEILING HEIGHT (IN INCHES)
[Symbol]	ALARM CONTROL
[Symbol]	DOOR NUMBER
[Symbol]	CEILING SPRINKLER
[Symbol]	WALL SPRINKLER
[Symbol]	SWITCH ON CIRCUIT X
[Symbol]	3-WAY SWITCH ON CIRCUIT X

REV	DATE	DESCRIPTION

Copyright 2023

#####, LLC
All rights reserved

ARCHITECTURE
A#####
Street, Suite ###
North Miami Beach, FL 33160
www.#####.com
#####

10225 COLLINS AVE.
UNIT 1402
BAL HARBOUR, FL 33154

FOLIO: 12-2226-041-0350
UNIT OWNER:
PRIVATE OWNER

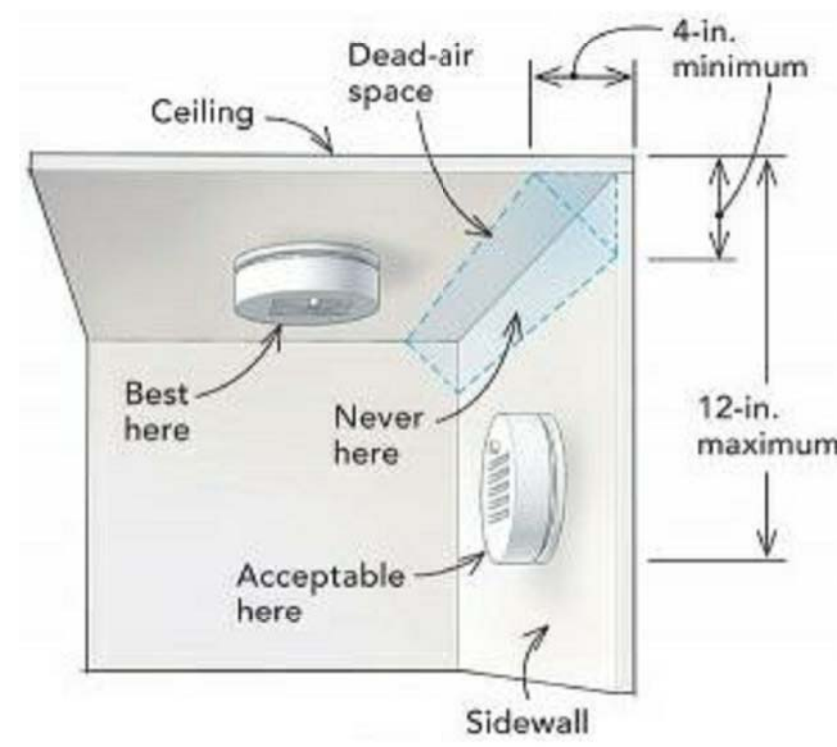
ELECTRICAL - LIGHTING PLAN

08/10/2023 Scale As indicated

SCOPE OF WORK:

1. INSTALL 200 AMP ELECTRICAL PANEL A IN LAUNDRY ROOM AREA
2. INSTALL 100 AMP ELECTRICAL SUB-PANEL B IN LAUNDRY ROOM AREA
3. INSTALLATION OF 9 SMOKE DETECTORS
4. INSTALLATION OF 1 FIRE ALARM SPEAKER IN BEDROOM 3

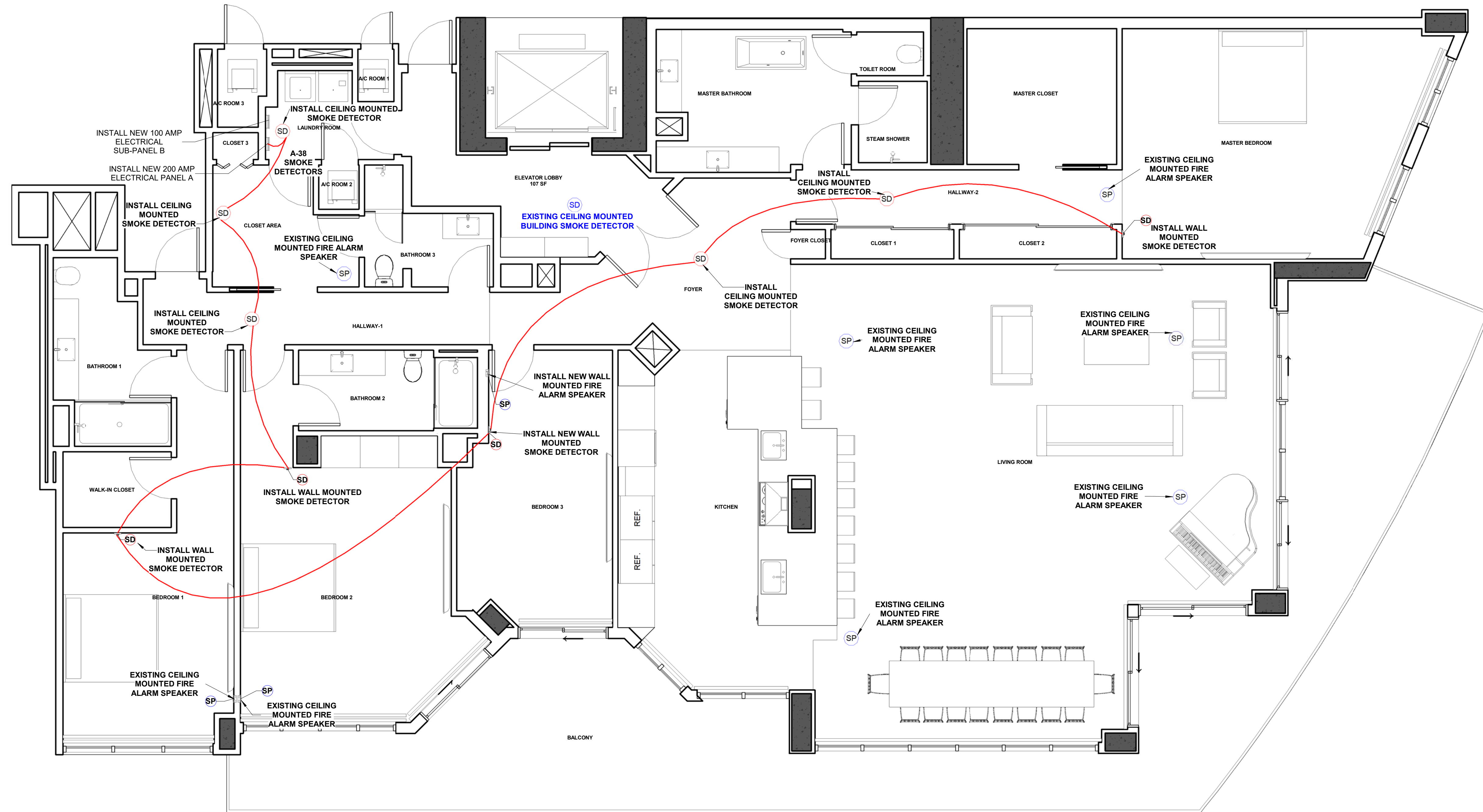
SMOKE DETECTOR INSTALLATION DETAILS



Scale: N.T.S.

SMOKE DETECTOR NOTES:

1. SMOKE DETECTOR WIRING SHALL BE MADE IN A WAY, IF ONE IS ACTIVATED, ALL REMAINING ARE ACTIVATED.
2. ALL SMOKE DETECTORS SHALL BE AFCI.
3. FOR THE CEILING MOUNT, THE SMOKE DETECTOR SHOULD BE PLACED AS CLOSE TO CENTER OF THE CEILING AS POSSIBLE.
4. SMOKE DETECTOR SHOULD BE PLACED AT LEAST 4" FROM ANY CORNER WALL JUNCTION.
5. SMOKE DETECTOR SHOULD NOT BE PLACED:
 - A) CLOSER THAN 3 FEET FROM AN AIR SUPPLY DIFFUSER OR AN AIR VENT
 - B) CLOSER THAN 1 FOOT FROM FLUORESCENT LIGHT FIXTURE.
6. SMOKE DETECTORS ARE REQUIRED INSIDE OF ALL SLEEPING AREAS
7. SMOKE DETECTORS TO BE INTERCONNECTED, BATTERY BACK UP AND 36" AWAY FROM ANY VENT OR FAN BLADE TIP.



1 FIRE PREVENTION PLAN
1/4" = 1'-0"

REV	DATE	DESCRIPTION

Copyright 2023

#####, LLC
All rights reserved

ARCHITECTURE

Street, Suite ###
North Miami Beach, FL 33160
www.#####.com
#####

10225 COLLINS AVE.
UNIT 1402
BAL HARBOUR, FL 33154

FOLIO: 12-2226-041-0350
UNIT OWNER:
PRIVATE OWNER

FIRE PREVENTION PLAN

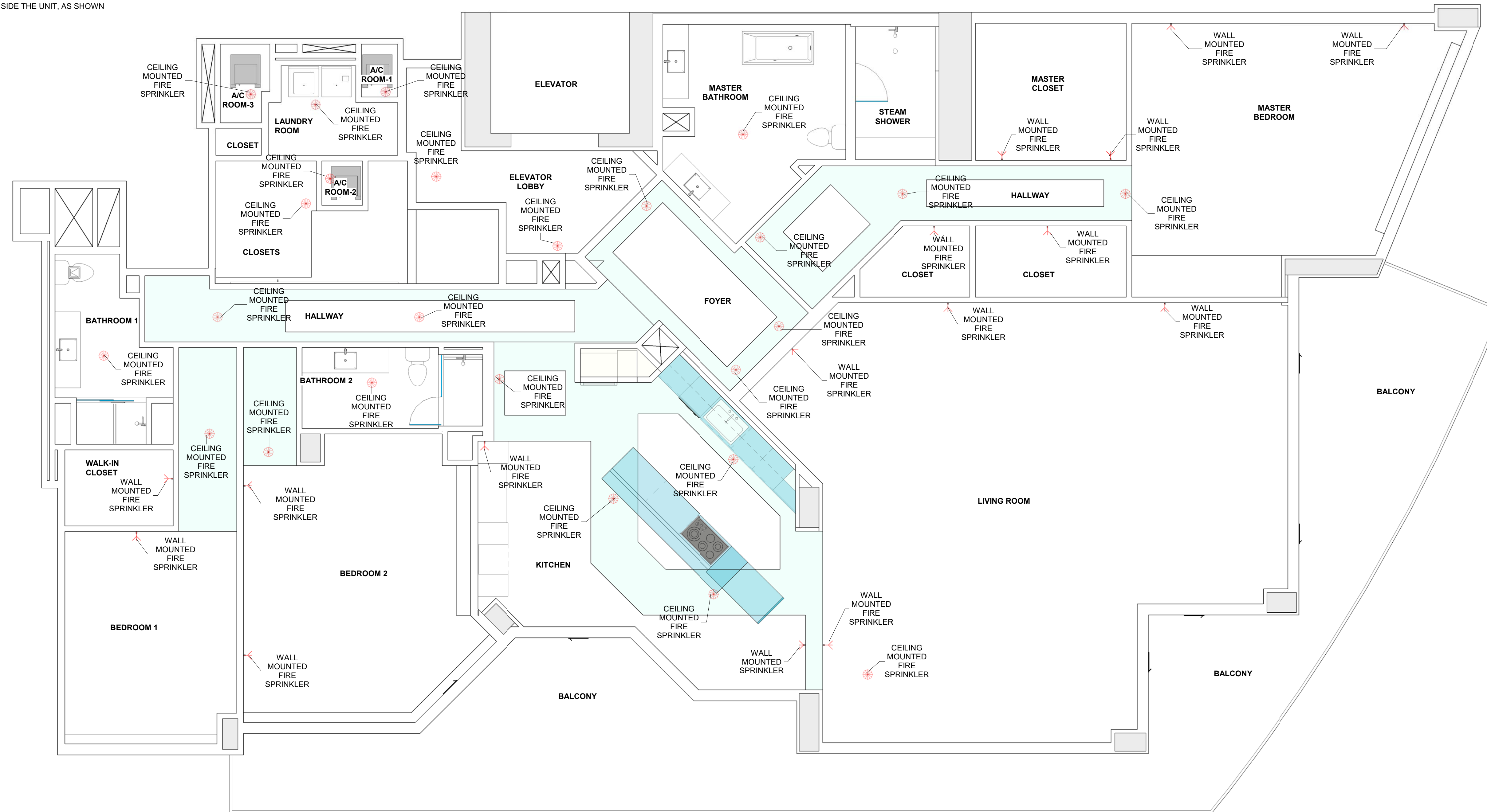
08/10/2023 Scale 1/4" = 1'-0"

FIRE DEPT NOTE:

IF ANY CHANGES TO EXISTING SPRINKLER PLAN, SUB-CONTRACTOR SHALL SUBMIT SHOP DRAWINGS & DETAILED CUT-SHEETS UNDER A SEPARATE PERMIT

NOTE:

BUILDING IS PROTECTED BY FIRE SPRINKLERS. EXISTING FIRE SPRINKLERS INSIDE THE UNIT, AS SHOWN



① FIRE SPRINKLER PLAN - EXISTING
1/4" = 1'-0"

REV	DATE	DESCRIPTION

Copyright 2023

#####, LLC
All rights reserved

ARCHITECTURE

Street, Suite ###
North Miami Beach, FL 33160
www.#####.com
#####

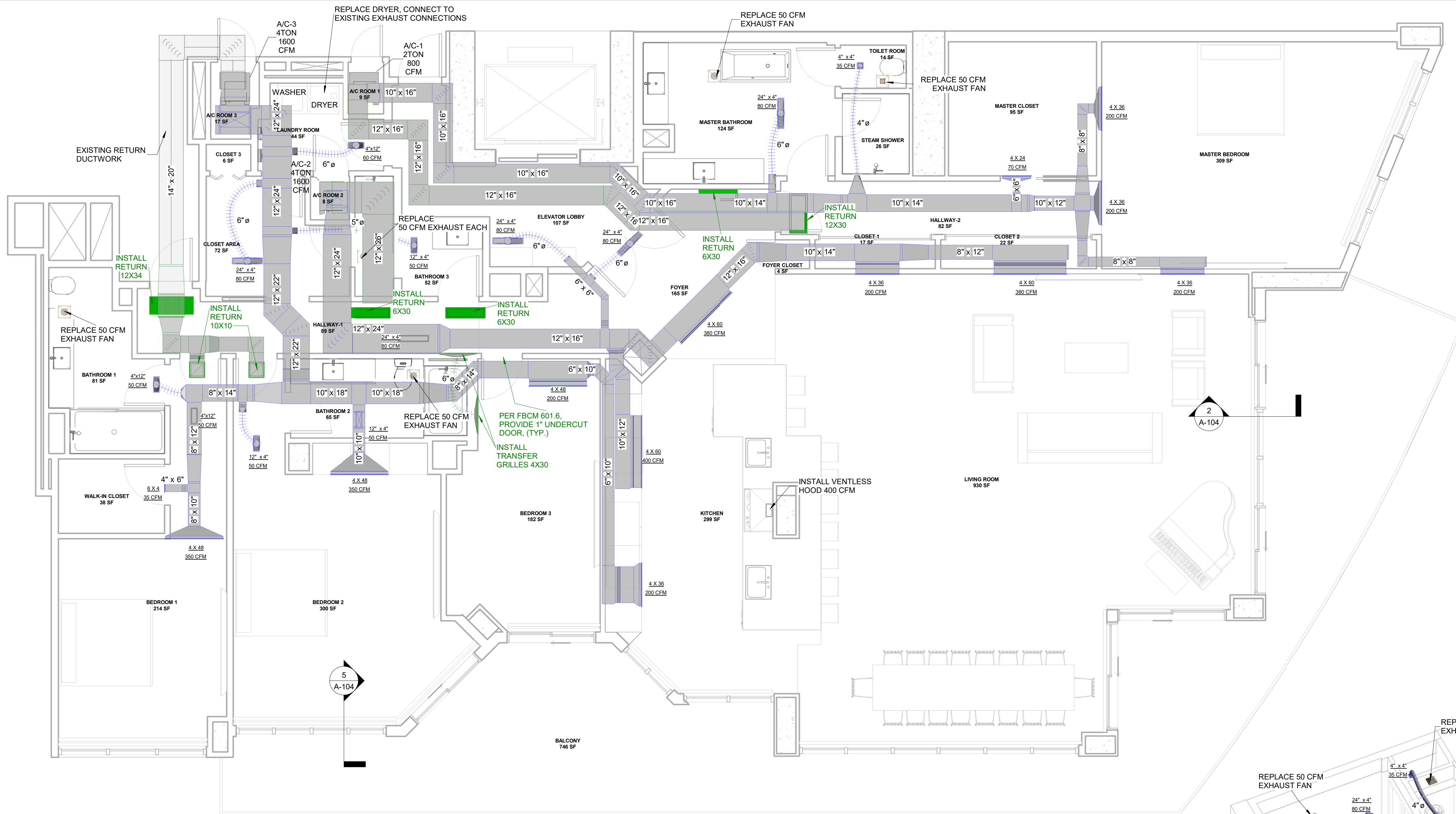
10225 COLLINS AVE.
UNIT 1402
BAL HARBOUR, FL 33154

FOLIO: 12-2226-041-0350
UNIT OWNER:
PRIVATE OWNER

**FIRE SPRINKLER
PLAN - EXISTING**

08/10/2023 Scale 1/4" = 1'-0"

F302



Notes:
 Building Code: 2020 7th Edition
 Occupancy Type: R-2
 Type of Construction: 1
 Classification of Work: Level 2 Alteration

HVAC GENERAL NOTES:
ARCHITECTURAL
 1. DO NOT SCALE DRAWINGS. REFER TO ARCHITECTURAL DRAWINGS AND REFLECTED CEILING PLANS FOR EXACT LOCATION OF DOORS, WINDOWS, CEILING DIFFUSERS, ETC.
 2. LIGHT FIXTURE LOCATIONS TAKE PRECEDENCE OVER DIFFUSER AND GRILLE LOCATIONS. LOCATE DIFFUSERS AND GRILLES TO ACCOMMODATE LIGHTING LAYOUT.

REV	DATE	DESCRIPTION

Copyright 2023
 #####
 #####, LLC
 All rights reserved

ARCHITECTURE
 #####
 #####
 #####
 ##### Street, Suite ###
 North Miami Beach, FL 33160
 www.#####.com
 #####

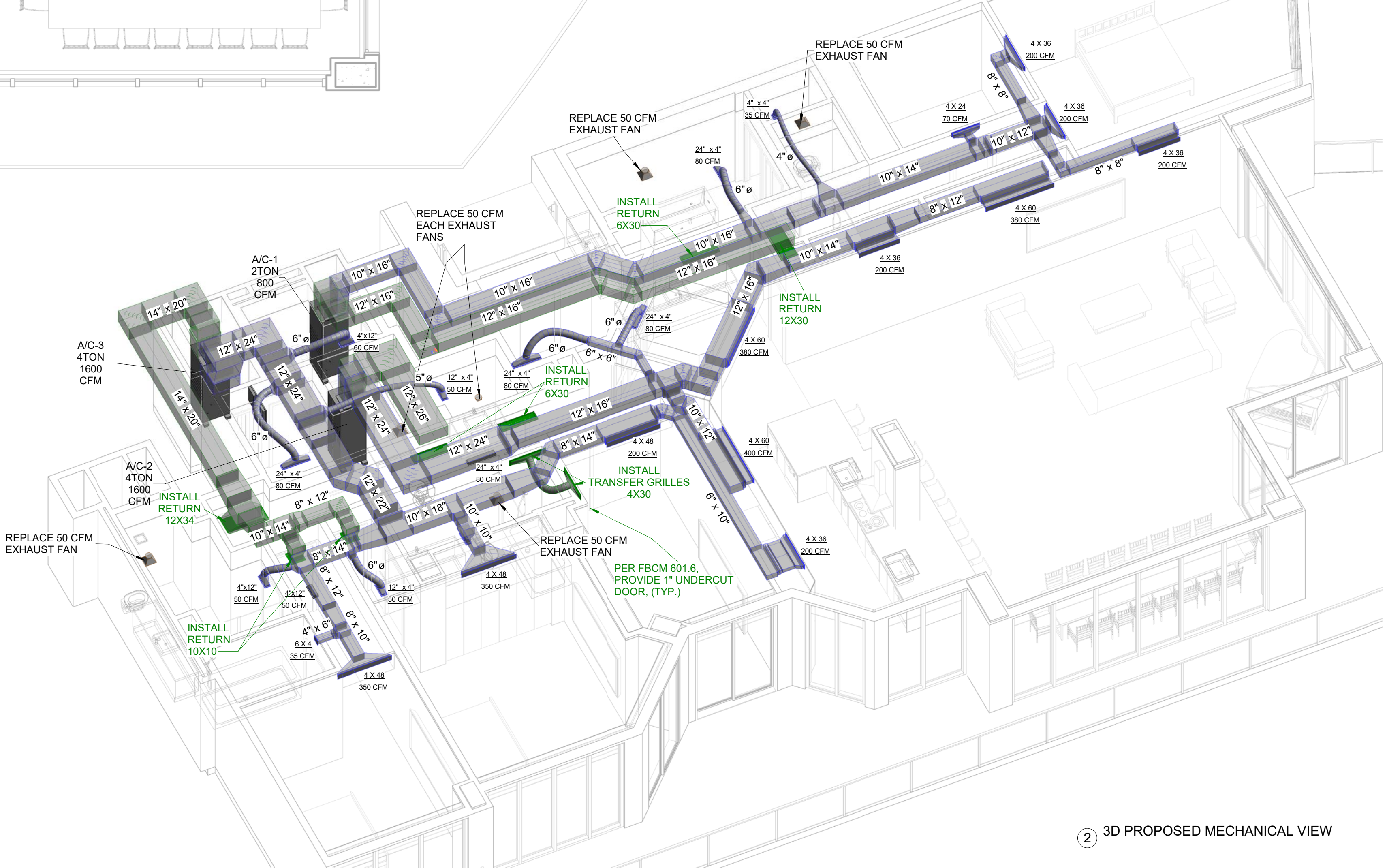
SCOPE OF WORK:

- REMOVE EXISTING 1.5-TON A/C-01 UNIT, & REPLACE WITH NEW 2-TON A/C-01 UNIT AT EXISTING LOCATION, AS SHOWN
- REMOVE EXISTING 4-TON A/C-02 UNIT, & REPLACE WITH NEW 4-TON A/C-02 UNIT AT EXISTING LOCATION, AS SHOWN
- REMOVE EXISTING 4-TON A/C-03 UNIT, & REPLACE WITH NEW 4-TON A/C-03 UNIT AT EXISTING LOCATION, AS SHOWN
- INSTALL NEW A/C SUPPLY & RETURN DUCTWORK FOR ALL A/C UNITS, AS SHOWN
- INSTALL NEW A/C GRILLES AND DIFFUSERS FOR ALL A/C UNITS, AS SHOWN.
- A/C DUCTWORK SHALL BE GLASS FIBER DUCTWORK (R-4.1)
- REPLACE EXHAUST FANS IN ALL BATHROOMS AND CONNECT TO EXISTING EXHAUST CONNECTIONS, AS SHOWN. 50 CFM EACH.
- INSTALL NEW VENTLESS HOOD 400 CFM IN KITCHEN, AS SHOWN.
- REPLACE DRYER, CONNECT TO EXISTING EXHAUST CONNECTIONS

HVAC GENERAL NOTES:

- THE HVAC CONTRACTOR SHALL VISIT THE JOB SITE AND BE FAMILIAR WITH ALL PROJECT CONDITIONS PRIOR TO FABRICATING DUCTWORK, EQUIPMENT, ETC. NO ALLOWANCES WILL BE MADE FOR CONTRACTOR'S UNFAMILIARITY WITH PROJECT CONDITIONS.
- PIPING AND DUCTWORK ROUTING SHOWN IS SCHEMATIC. HVAC CONTRACTOR SHALL PROVIDE ANY ADDITIONAL OFFSETS AND FITTINGS, INCLUDING DIVIDED DUCTS, REQUIRED FOR PROPER INSTALLATION AND TO MAINTAIN CLEARANCES AS ENCOUNTERED IN THE FIELD.
- FURNISH ALL LABOR, MATERIAL AND EQUIPMENT REQUIRED FOR THE COMPLETE INSTALLATION AND OPERATION OF ALL SYSTEMS IN THIS SECTION OF WORK IN ACCORDANCE WITH ALL APPLICABLE CODES, ASHRAE, SMACNA, NFPA, EPA, ETC.
- PRIOR TO INSTALLATION OF ASSOCIATED WORK, INSTALLER SHALL MEET AT PROJECT SITE WITH GENERAL CONTRACTOR, INSTALLER OF EACH COMPONENT OF ASSOCIATED WORK, INSPECTION AND TESTING AGENCY REPRESENTATIVES (IF ANY), INSTALLERS OF OTHER WORK REQUIRING COORDINATION WITH WORK OF THIS SECTION AND ARCHITECT / OWNER FOR PURPOSE OF COORDINATING LOCATIONS OF PROPOSED SYSTEMS, REVIEWING MATERIAL SELECTIONS, AND PROCEDURES TO BE FOLLOWED IN PERFORMING THE WORK IN COMPLIANCE WITH REQUIREMENTS SPECIFIED.
- COORDINATE INSTALLATION AND LOCATIONS OF DUCTWORK AND PIPING WITH BUILDING STRUCTURE, PLUMBING PIPING, ELECTRICAL CONDUIT, LIGHTING, ETC. PRIOR TO PURCHASING OR INSTALLING EQUIPMENT AND MATERIALS.
- ALL PIPING, DUCTS, VENTS, ETC. EXTENDING THROUGH WALLS AND CEILING SHALL BE FLASHED AND COUNTERFLASHED IN A WATERPROOF MANNER.
- MAINTAIN MINIMUM OF TEN (10) FEET BETWEEN OUTDOOR AIR INTAKES AND EXHAUST FAN DISCHARGE, PLUMBING VENTS, ETC.
- REFER TO PLUMBING DRAWINGS FOR LOCATION AND ROUTING OF ALL CONDENSATE DRAIN LINE CONNECTION POINTS, GAS PIPING, AND WATER HEATER COMBUSTION / EXHAUST AIR DUCTWORK.
- CONTRACTOR SHALL BE LICENSED TO PERFORM MECHANICAL WORK IN THE MUNICIPALITY IN WHICH THE PROJECT IS LOCATED.
- CONTRACTOR SHALL GUARANTEE ALL WORK PERFORMED AND MATERIALS FURNISHED, AGAINST DEFECTS IN MATERIALS AND WORKMANSHIP FOR A PERIOD OF ONE (1) YEAR FROM THE DATE OF THE OWNER'S FINAL ACCEPTANCE OF THE WORK. ANY DEFECTS SHALL BE RECTIFIED WITHOUT ANY ADDITIONAL COST TO THE OWNER.
- WORK SHALL COMPLY WITH THE LATEST REVISIONS OF FLORIDA STATE BUILDING CODE, MECHANICAL CODE, FIRE PROTECTION AND CONSTRUCTION CODE, ENERGY CONSERVATION CODE, AND ANY LOCAL CODES OR REGULATIONS THAT APPLY.

1 MECHANICAL PLAN
 1/4" = 1'-0"



2 3D PROPOSED MECHANICAL VIEW

10225 COLLINS AVE.
 UNIT 1402
 BAL HARBOUR, FL 33154

FOLIO: 12-2226-041-0350
 UNIT OWNER:
 PRIVATE OWNER

PROPOSED MECHANICAL PLAN

08/10/2023 Scale As indicated

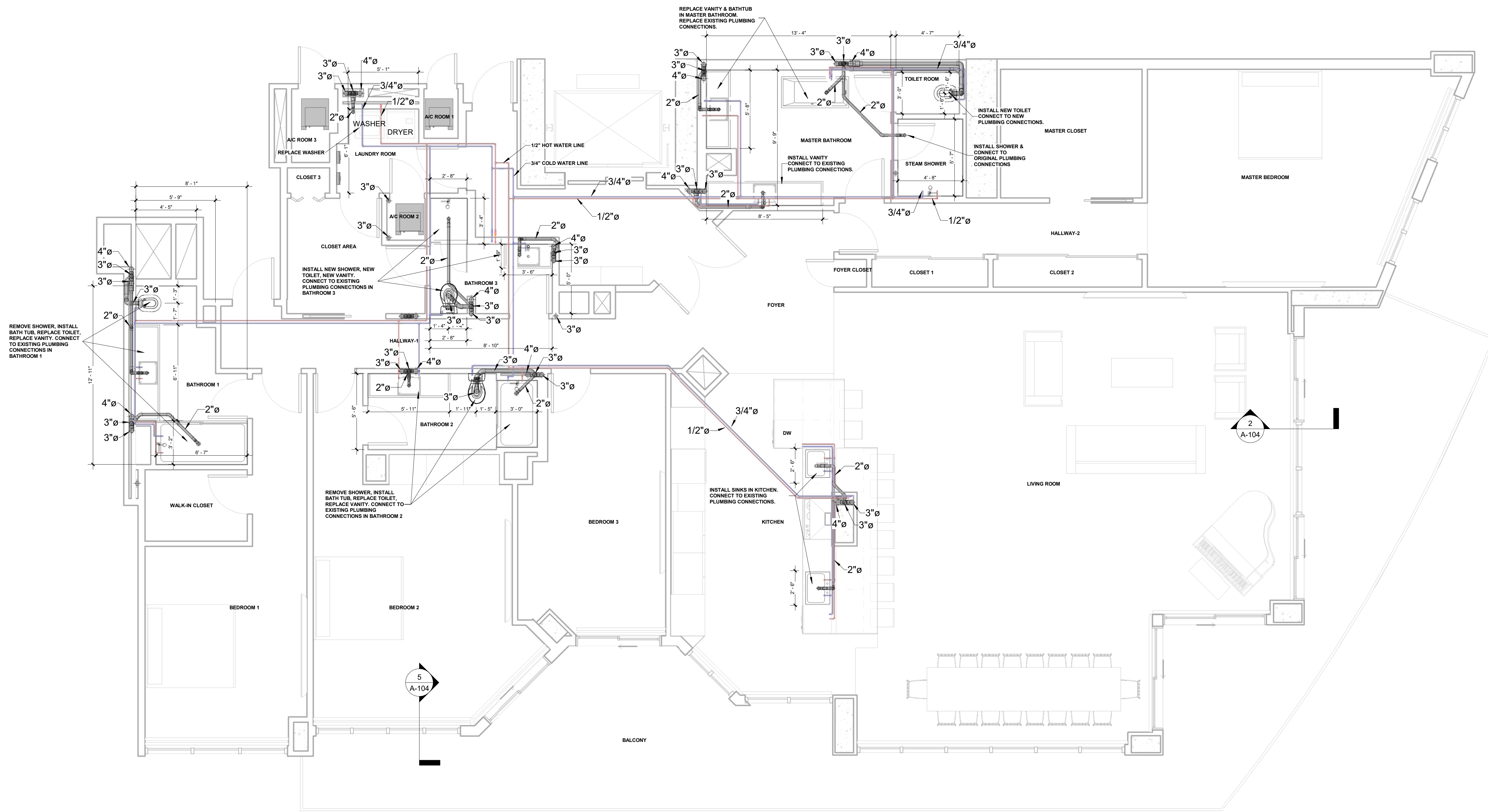
SCOPE OF WORK:

1. REMOVE SHOWER, INSTALL BATH TUB, REPLACE TOILET, REPLACE VANITY. CONNECT TO EXISTING PLUMBING CONNECTIONS IN BATHROOM 1, AS SHOWN
2. REMOVE SHOWER, INSTALL BATH TUB, REPLACE TOILET, REPLACE VANITY. CONNECT TO EXISTING PLUMBING CONNECTIONS IN BATHROOM 2, AS SHOWN
3. INSTALL NEW SHOWER, NEW TOILET, NEW VANITY. CONNECT TO EXISTING PLUMBING CONNECTIONS IN BATHROOM 3, AS SHOWN
4. REPLACE VANITIES & BATHTUB IN MASTER BATHROOM. REPLACE EXISTING PLUMBING CONNECTIONS.
5. INSTALL STEAM SHOWER, BATH TUB, DOUBLE VANITY & TOILET IN MASTER BATHROOM, AS SHOWN
6. INSTALL NEW WALL HUNG TOILET & NEW PLUMBING CONNECTIONS. INSTALL SHOWER & CONNECT TO ORIGINAL PLUMBING CONNECTIONS IN MASTER BATHROOM, AS SHOWN
7. REPLACE KITCHEN SINKS
8. REPLACE WASHER
9. REPLACE EXISTING PLUMBING CONNECTIONS IN ALL BATHROOMS, LAUNDRY AREA & KITCHEN

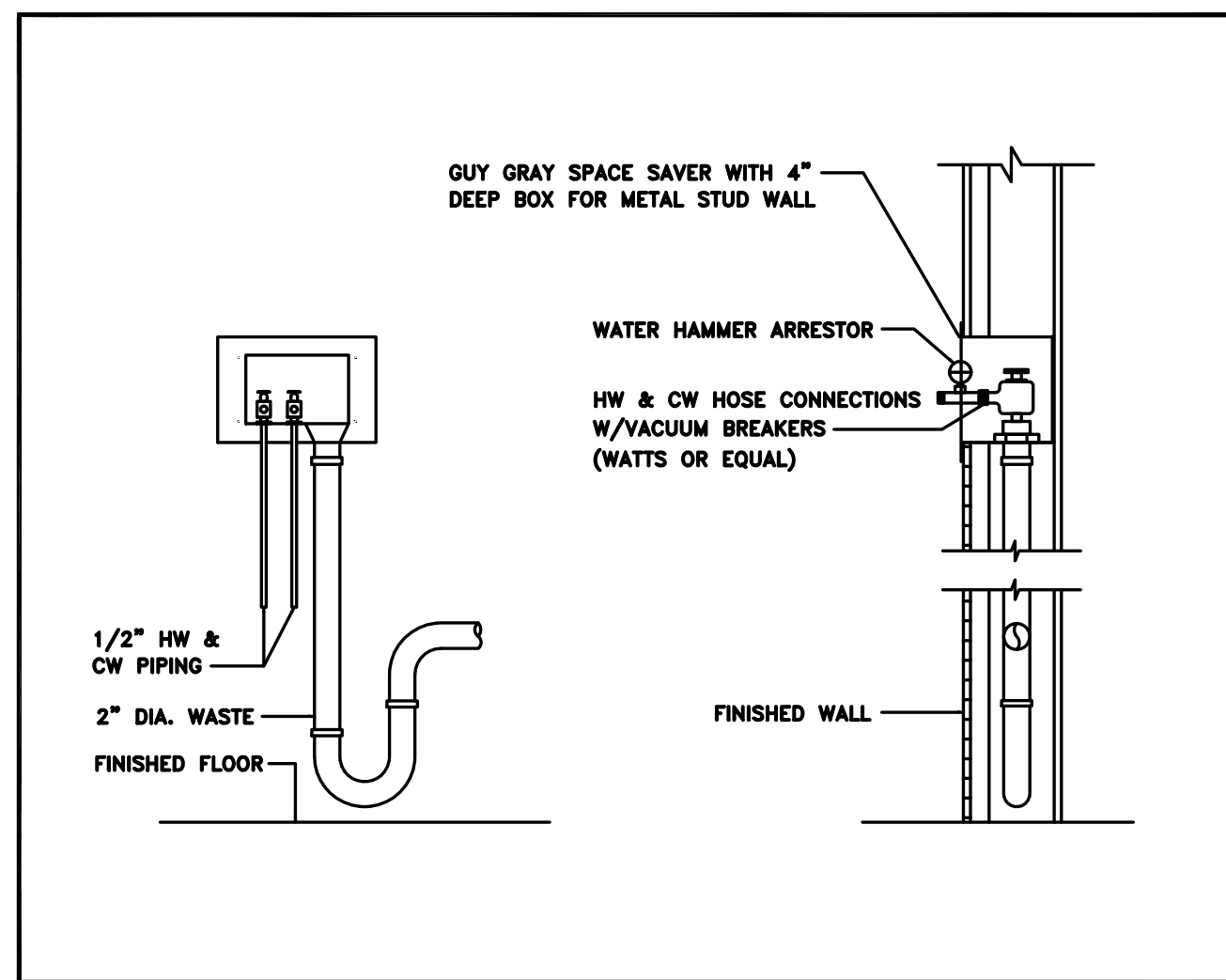
PLUMBING NOTES:

1. WATER SUPPLY SERVICE TO COMPLY PER FBC TABLE 603.1 & 604.5 FOR MIN. SIZE OF FIXTURE SUPPLY
2. SHOWER RECEPTORS & COMPARTMENTS SHALL COMPLY WITH FBC 417.1
3. PER FBC 424.4 ANTI-SCALD VALVE SHALL BE PROVIDED
4. SHOCK ABSORBERS & SHUTOFF VALVES SHALL BE PROVIDED PER FBC 602.2
5. PER FBC 604.9, WATER HAMMER ARRESTORS SHALL BE INSTALLED.
6. PER FBC PL 605.4, COPPER SHALL BE USED FOR ALL WATER PIPING MATERIAL 7. PER FBC PL 702.1, PVC SHALL BE USED FOR ALL DRAIN MATERIAL

Notes:
 Building Code: 2020 7th Edition
 Occupancy Type: R-2
 Type of Construction: 1
 Classification of Work: Level 2 Alteration

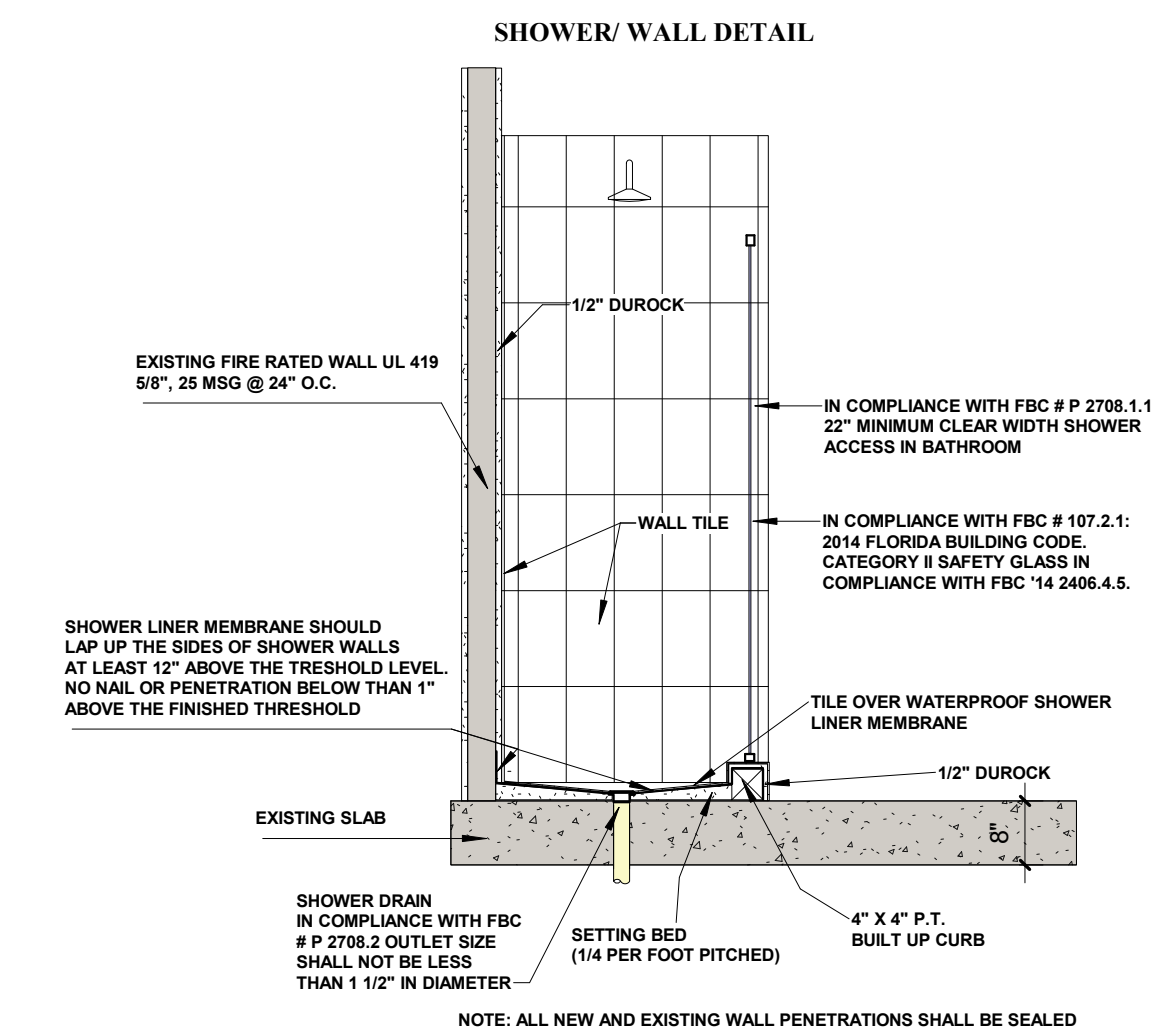


1 PLUMBING PLAN - EXISTING CONDITION
 1/4" = 1'-0"

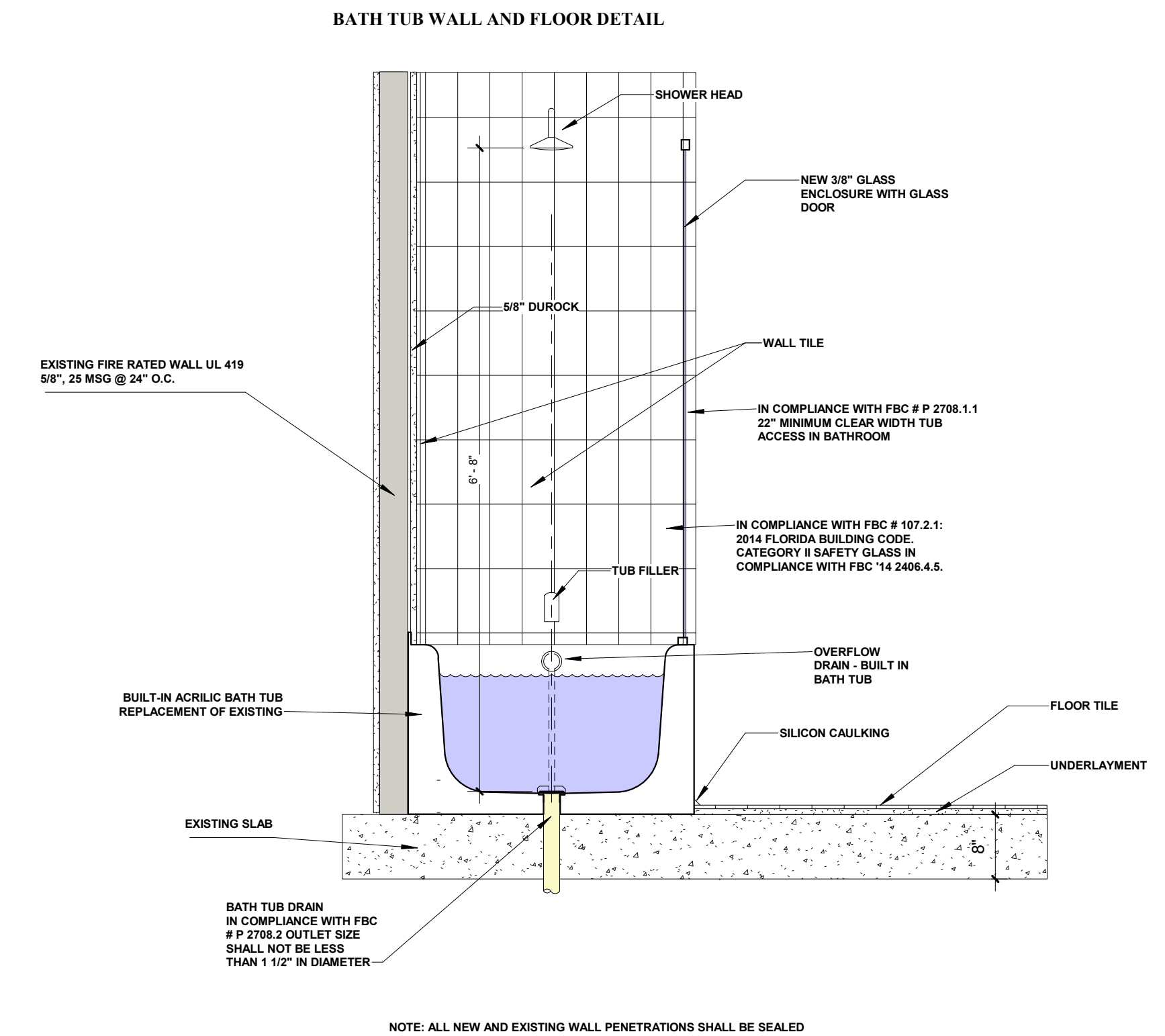
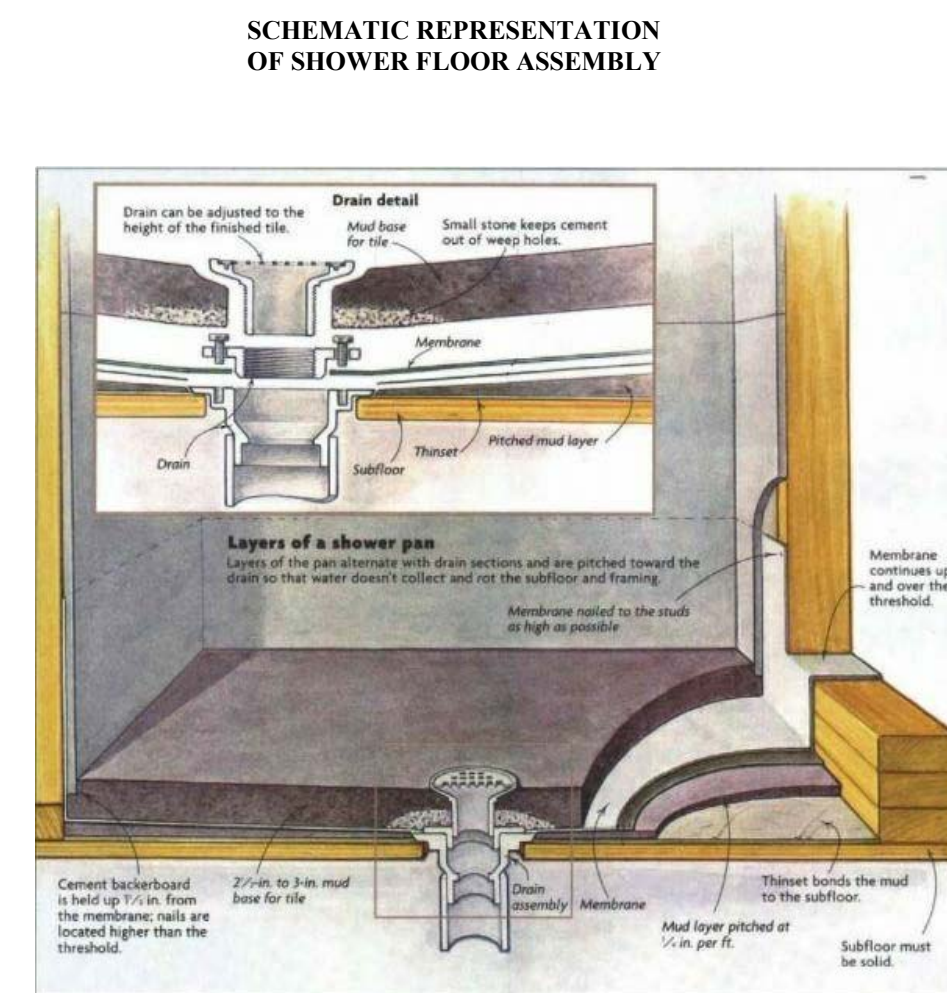


2 WASHING MACHINE PLUMBING CONNECTION DETAIL
 SCALE: NTS

2 WASHING MACHINE PLUMBING CONNECTION DETAIL
 3/4" = 1'-0"



5 SHOWER INSTALLATION DETAILS
 1/2" = 1'-0"



3 BATH TUB INSTALLATION DETAILS
 3/4" = 1'-0"

REV	DATE	DESCRIPTION

Copyright 2023
 #####
 #####, LLC
 All rights reserved

ARCHITECTURE
 #####
 #####
 ##### Street, Suite ###
 North Miami Beach, FL 33160
 www.#####.com
 #####

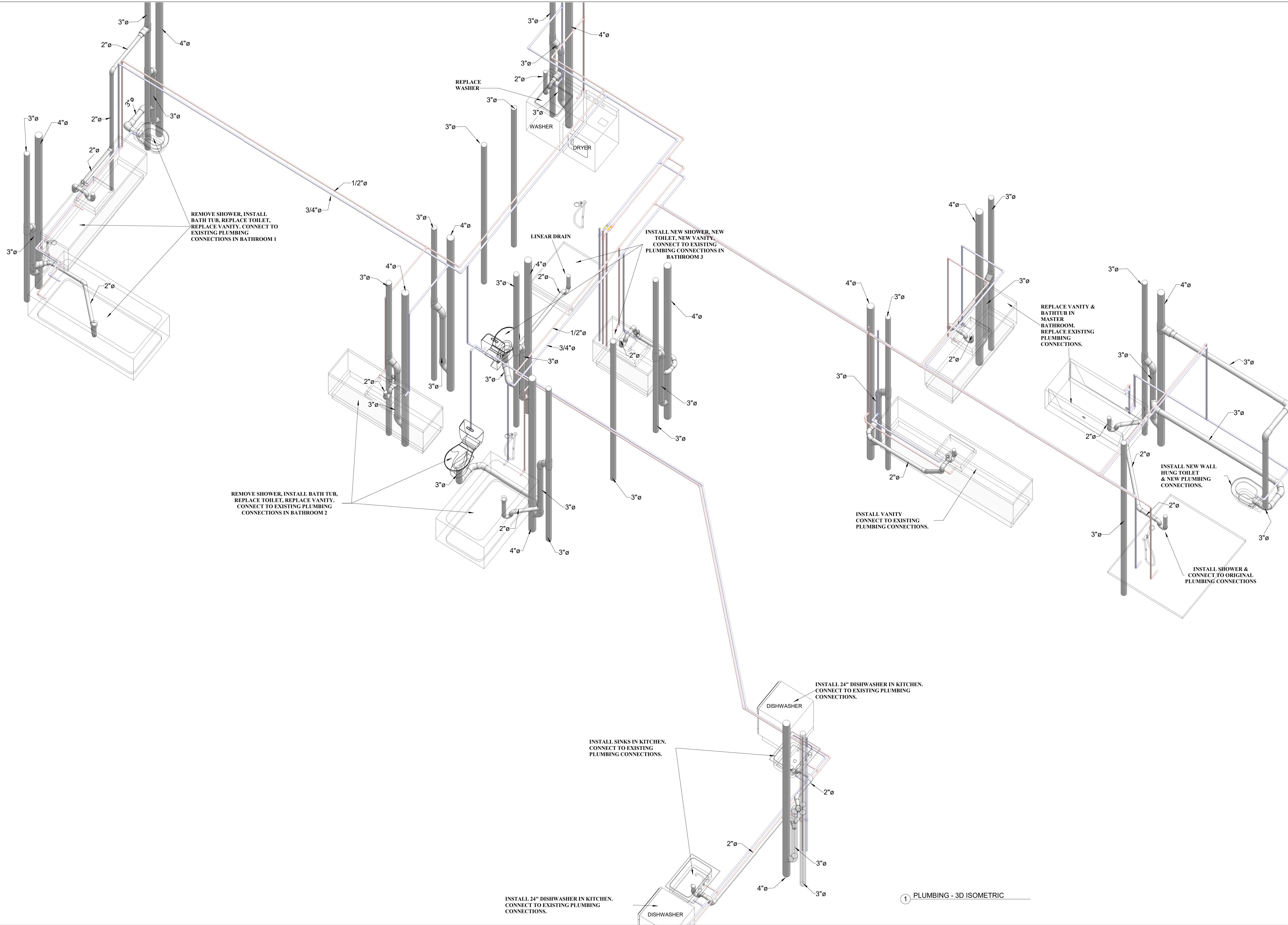
10225 COLLINS AVE.
 UNIT 1402
 BAL HARBOUR, FL 33154

FOLIO: 12-2226-041-0350
 UNIT OWNER:
 PRIVATE OWNER

PLUMBING PLAN

08/10/2023 Scale As indicated

P-501



REV	DATE	DESCRIPTION

Copyright 2023
 #####
 #####, LLC
 All rights reserved

ARCHITECTURE
 #####
 #####
 ##### Street, Suite ###
 North Miami Beach, FL 33160
 www.#####.com
 #####

10225 COLLINS AVE.
 UNIT 1402
 BAL HARBOUR, FL 33154

FOLIO: 12-2226-041-0350
 UNIT OWNER:
 PRIVATE OWNER

PLUMBING 3D ISOMETRIC & DETAILS

08/10/2023 Scale