

NEW CONSTRUCTION DUPLEX AT DEERFIELD BEACH

#TH STREET, ##### BEACH, FLORIDA,

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ST1	STRUCTURAL-STAIR DETAILS

DESCRIPTION

DATE

REV

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SW ##TH STREET
BEACH, FL

OWNER: ### SW ##TH ST
BEACH INC.
DUPLEX DEVELOPMENT

TITLE SHEET

09/06/2022 Scale 1" = 1'-0"

A-00

USE AND INTERPRETATION OF THESE PLANS:

1. GENERAL CONDITIONS OF THE CONTRACT FOR CONSTRUCTION, AIA DOCUMENT A201, ARE A PART OF A CONTRACT DOCUMENTS AS DESCRIBE USE AND INTENT OF THE DRAWINGS. THE CONTRACT DOCUMENTS INCLUDE NOT ONLY THE DRAWINGS, BUT ALSO THE OWNER-CONTRACTOR AGREEMENT, CONDITIONS OF THE CONTRACT, THE SPECIFICATIONS, ADDENDA, AND MODIFICATIONS ISSUED AFTER EXECUTION OF THE CONTRACT. THESE CONTRACT DOCUMENTS ARE COMPLEMENTARY, AND WHAT IS REQUIRED BY ANY ONE SHALL BE BINDING AS IF REQUIRED BY ALL. WORK NOT COMPLETELY DELINEATED HEREON SHALL BE CONSTRUCTED OF THE SAME MATERIALS AND DETAILED SIMILARLY AS WORK SHOWN MORE COMPLETELY ELSEWHERE IN THE CONTRACT DOCUMENTS.

2. BY USE OF THE DRAWINGS FOR CONSTRUCTION OF THE PROJECT THE OWNER REPRESENTS THAT THEY HAVE REVIEWED AND APPROVED THE DRAWINGS, AND THAT THE CONSTRUCTION DOCUMENT PHASE OF THE PROJECT IS COMPLETE. THE CONTRACTOR REPRESENTS THAT HE HAS VISITED THE SITE, FAMILIARIZED HIMSELF WITH THE LOCAL CONDITIONS, VERIFIED FIELD DIMENSIONS AND CORRELATED HIS OBSERVATIONS WITH THE REQUIREMENTS OF THE CONTRACT DOCUMENTS.

3. THE CONTRACT SUM AND THE CONTRACT TIME MAY BE CHANGED ONLY BY CHANGE ORDER TO THE CONTRACTOR SIGNED BY THE OWNER AND THE ARCHITECT. ANY WORK PERFORMED IN VARIANCE WITH THE CONTRACT DOCUMENTS AND NOT COVERED BY THE ARCHITECT'S WRITTEN ORDER FOR A MINOR CHANGE IN THE WORK OR A CHANGE ORDER, WILL NOT BE ACCEPTED.

4. AS INSTRUMENTS OF SERVICE, ALL DRAWINGS, SPECIFICATIONS AND COPIES THERE OF FURNISHED BY THE ARCHITECT ARE HIS PROPERTY. THEY ARE TO BE USED ONLY FOR THIS PROJECT AND ARE NOT TO BE USED ON ANY OTHER PROJECT. CHANGES TO THE DRAWINGS MAY ONLY BE MADE BY THE ARCHITECT. ANY SUBMISSION OR DISTRIBUTION WITHOUT THE EXPRESS WRITTEN CONSENT OF THE ARCHITECT MAY BE CONSTRUED AS DEROGATION OF THE ARCHITECT'S COPYRIGHT OR OTHER RESERVED RIGHTS.

A.D.A.:

ALL WORK SHALL BE CONSTRUCTED IN ACCORDANCE WITH A.D.A. ACCESSIBILITY GUIDELINES FOLLOWING FBC, 2020.

TERMITE TREATMENT OF SOIL:
THE BUILDING FOOTPRINT TO RECEIVE A COMPLETE TREATMENT FOR THE PREVENTION OF SUBTERRANEAN TERMITES IN ACCORDANCE WITH RULES + LAWS ESTABLISHED BY THE FL. DEPT. OF AGRICULTURAL AND CONSUMER SERVICES AS PER 1816.1.7 FBC

ALL RAINWATER MUST BE RETAINED WITHIN THIS PROPERTY.

GENERAL CONTRACTOR NOTES:

- General contractor and subcontractor shall examine the project site and existing conditions to determine the scope of work. Existing concealed conditions and connections are based upon information taken from limited field investigations. Contractor shall make required adjustments to system components as necessitated by actual field conditions at no additional cost to owner or architect. Report any discrepancies between the drawings and actual field conditions to the architect before construction begins.
- All contractors shall review drawings prior to any demolition/construction and report if any discrepancies identified to architect immediately.
- General contractor shall verify all dimensions in the field and report any discrepancies to the architect.
- Contractor shall insure all work is in conformance with all applicable Florida building codes and all other federal, state and local agency regulations having jurisdiction over this project.
- General contractor (and his subcontractors) shall be licensed by the state of Florida and approved in advance by the owner.
- Contractor shall file all applications, acquire all necessary permits and secure certificates of occupancy for the project.
- All work is to be coordinated with the owner. The contractor is to meet with the owner prior to starting construction. The contractor will present the building permit and insurance certificates to the owner prior to starting construction.
- General contractor shall provide any necessary measures to protect the workers and other persons during construction. All contractors shall have current workman's compensation, liability, and automobile insurance required by the state of Florida.
- General contractor and subcontractor shall be responsible for the safety and well-being of their employees, including osha compliance and all construction safety regulations.
- Check with the owner for coordination of the work under this contract with work of other trades. Owner's regulations govern all aspects of outside contractors working on the property.
- General contractor shall submit a schedule for demolition procedures and operational sequence for architect's review.
- General contractor shall keep the job free of debris and make final cleanup to the satisfaction of the owner. General contractor shall be responsible for removal of all construction debris from project site and shall provide dumpsters etc. as required. Remove all debris on a daily basis.
- Contractor shall be responsible for the protection of all existing facilities and other installations that are to remain intact while performing the specified work. Provide and maintain fire extinguishers on project site during construction.
- Unless indicated otherwise, all material furnished and incorporated into the work shall be new, unused and of quality standard to the industry for first class work of similar nature and character. Install all materials to the manufacturer's recommendations and best standard of the trades involved.
- Unless otherwise indicated all interior finishes shall be as directed by the owner.
- Contractor to obtain and provide owner with color samples for proper color selection and final approval of all finishes prior to installation.
- All gypsum board work shall be done in accordance with the drywall construction handbook, latest edition, prepared by united states gypsum. All joints and seams shall be taped and finished in accordance with manufacturer's installation recommendations.
- These drawings do not show minor details of construction. General contractor shall furnish and install all items required for a complete building system and shall provide all requirements for all equipment to be placed in proper working order.

GENERAL DEMOLITION NOTES:

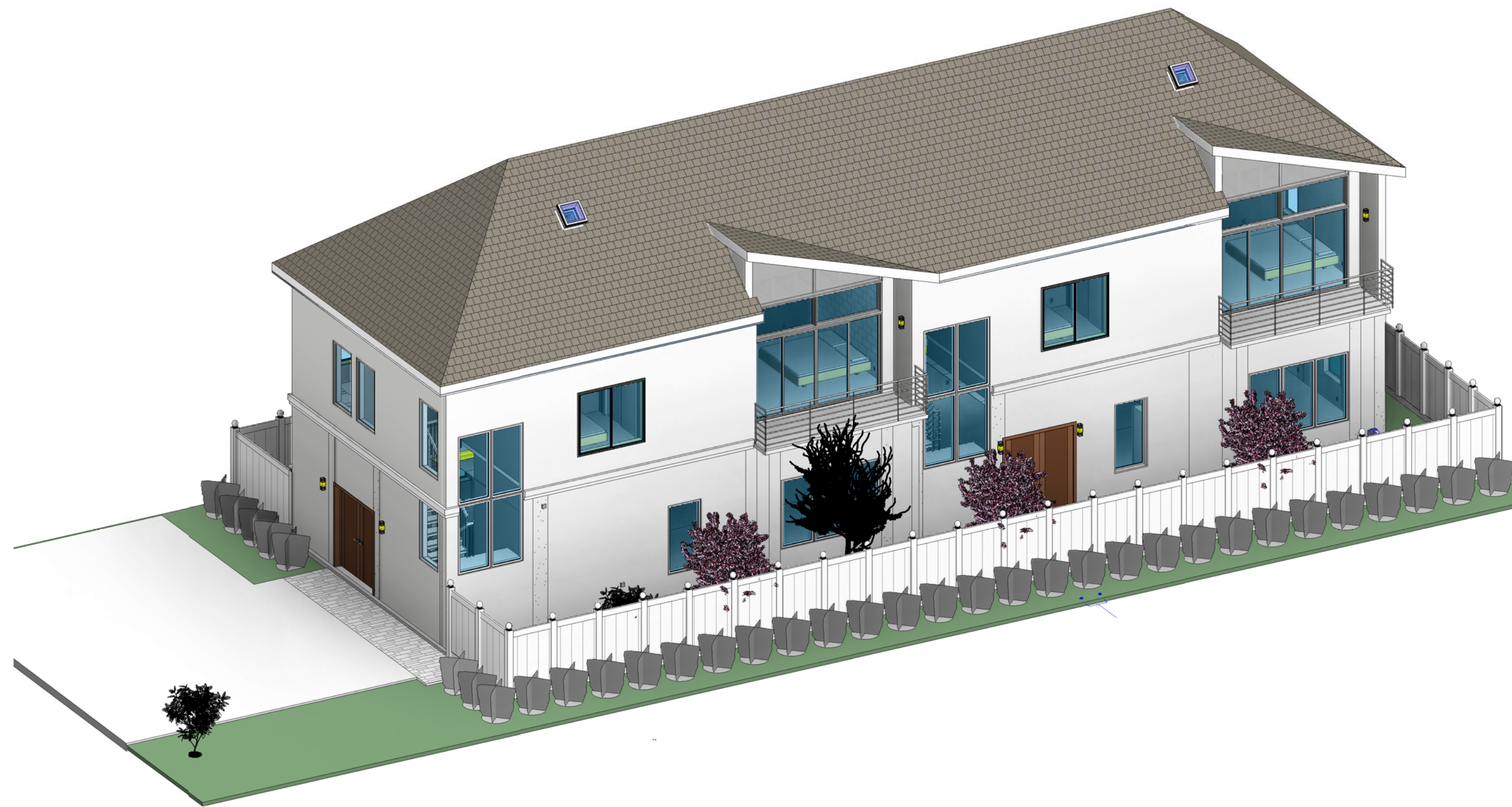
- The scope of demolition work shown in these drawings is not intended to indicate all demolition. GC shall remove all existing items as required for job completion.
- GC is responsible for performing a walk-thru of the site and become familiar with all existing conditions including possible items not addressed, that may require removal or relocation. Immediately report to Architect if existing conditions are different than shown.
- GC shall check and identify all existing water, sanitary and electric lines that are to remain and shall be protected from any damage during demolition work.
- GC shall exercise extreme care and caution when penetrating existing walls, or floor/ceiling slabs, so that structural integrity of such elements is not degraded. Architect must be notified prior to removing any structural element. GC shall restore existing surfaces scheduled to remain that are affected by scope of work. GC shall seal tight all new penetrations in walls or floor/ceiling slabs to preserve the required fire rated integrity.
- GC shall execute demolition in such a manner as not to interfere with the safety and convenience of the public and those around the site.
- GC shall remove all waste material and rubbish from demolition site as fast as possible and shall not let debris accumulate on premises. Disposal of materials on site must be done per buildings on site regulations.
- GC shall patch and repair all existing surfaces damaged by demolition or installation of new work or utilities, as required to match adjacent surfaces.
- GC shall keep premises clean at all times ensuring that there is no loose material or items, that may cause injury on site.
- GC shall demolish & remove existing conditions as shown by dashed lines/ or as noted, unless otherwise noted.
- Do not scale drawings to obtain dimensions. Use written dimensions before proceeding with work. All notes and dimensions shall be checked and verified prior to proceeding with work.

CODE DETAILS:

Building Code: FBC 2020 7th Edition, NEC 2017, FFPC 2020 7th Edition, NFPA 1 2018 Ed. Occupancy Type: R-3

Type of Construction: III-B

Classification of Work:
New construction
Jurisdiction:
150 NE 2nd Ave, Deerfield Beach
Deerfield Beach, FL 33441



PLANS BASED ON 2020 FBC. ALL APPLICABLE CODES, ZONING & ORDINANCES TO BE FOLLOWED BY CONTRACTOR

LEGAL DESCRIPTION:

LOT #, BLOCK ##, ##### PARK, ACCORDING TO THE PLAT THEREOF, AS RECORDED IN PLAT BOOK ##, PAGE ## OF THE PUBLIC RECORDS OF ##### COUNTY, FLORIDA

SITE PLAN REFERENCES BOUNDARY SURVEY BY:

SURVEYING & MAPPING, INC
##00 ##### RD. SUITE ###, ##### BEACH, FL #####
TEL: ###-###-####
JOB# ##-#### SEALED ON #####

AREA OF PROPOSED USE

3 BEDROOM - UNIT 1
GROSS 1ST FLOOR AREA: 1,060 SF
GROSS 2ND FLOOR AREA: 1,017 SF
TOTAL GROSS FLOOR AREA: 2,077 SF

3 BEDROOM - UNIT 2
GROSS 1ST FLOOR AREA: 1,060 SF
GROSS 2ND FLOOR AREA: 1,017 SF
TOTAL GROSS FLOOR AREA: 2,077 SF

AREA OF PROPOSED USE UNDER A/C

3 BEDROOM - UNIT 1
UNDER A/C 1ST FLOOR AREA: 964 SF
UNDER A/C 2ND FLOOR AREA: 794 SF
TOTAL UNDER A/C FLOOR AREA: 1,758 SF

3 BEDROOM - UNIT 2
UNDER A/C 1ST FLOOR AREA: 964 SF
UNDER A/C 2ND FLOOR AREA: 794 SF
TOTAL UNDER A/C FLOOR AREA: 1,758 SF

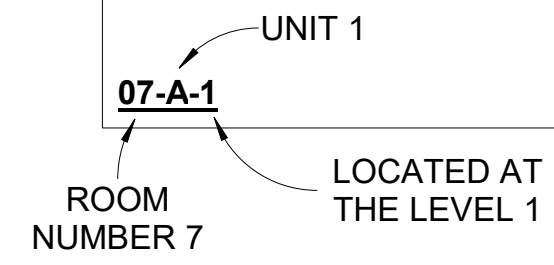
ROOM LEGEND:

0X - Number of the room;
 A - Unit 1;
 B - Unit 2;
 1 - The room is situated at the Level 1;
 2 - The room is situated at the Level 2;
 12 - The room is situated from Level 1 to Level 2.

Room Schedules are also available at sheet **CD-07**

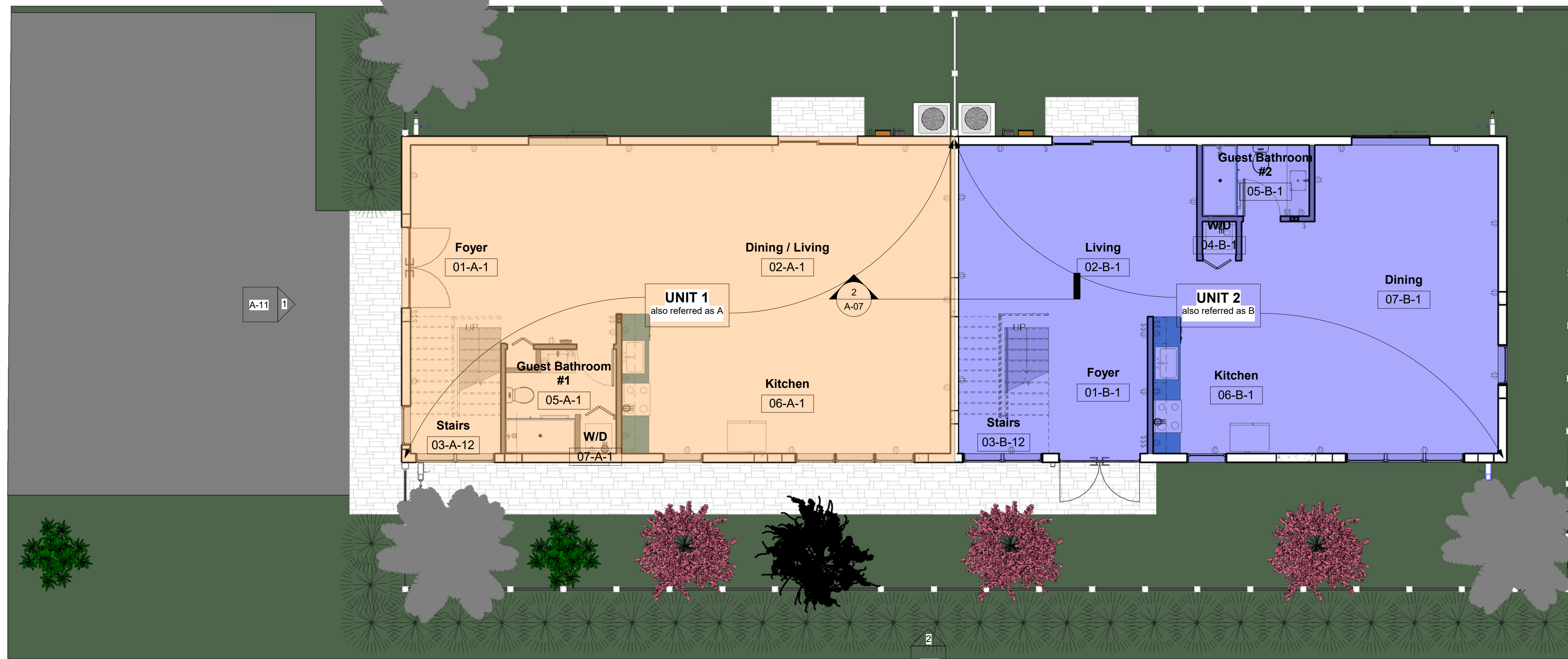
LEGEND

UNIT 1
 UNIT 2

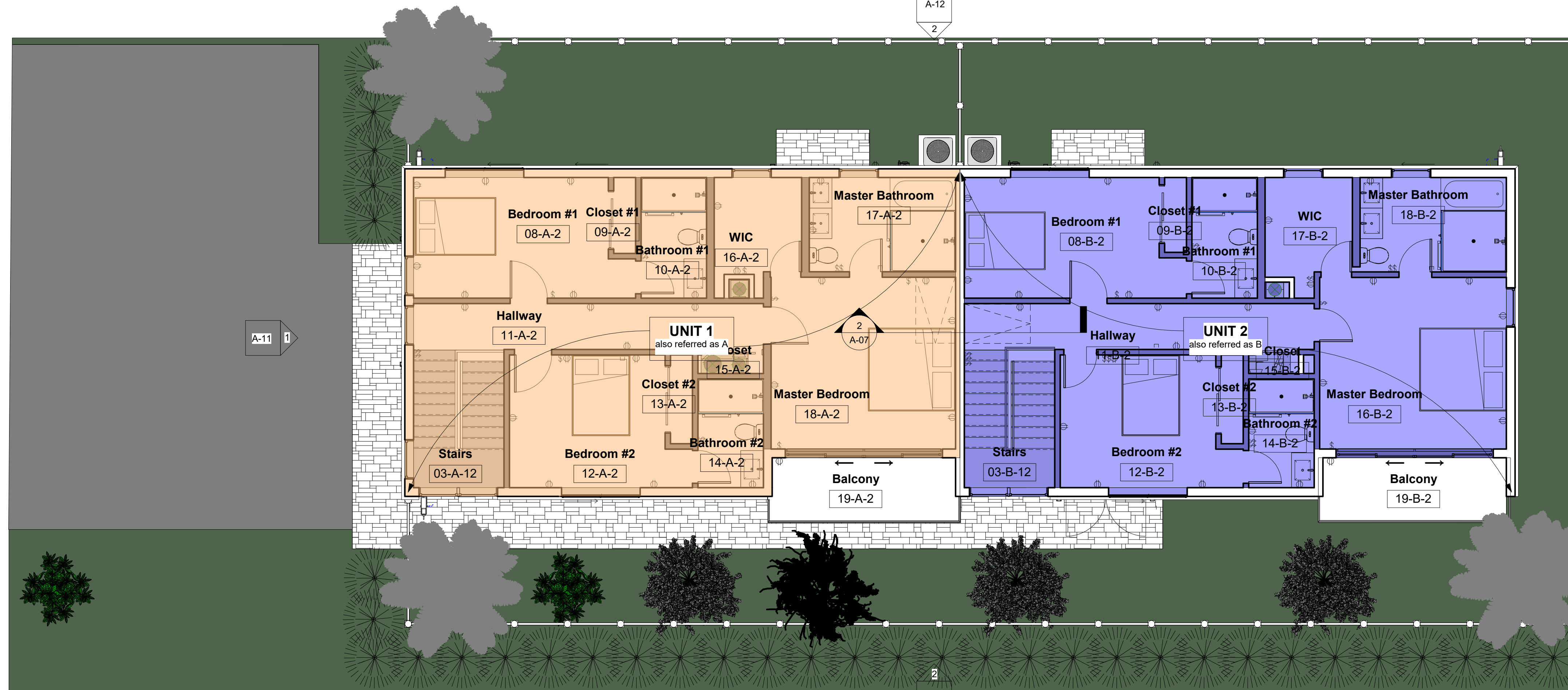


TERMITE STATEMENT

PER FBC SECTION 1816: TERMITE PROTECTION SHALL BE PROVIDED BY REGISTERED TERMITICIDES, INCLUDING SOIL APPLIED PESTICIDES, BAITING SYSTEMS, AND PESTICIDES APPLIED TO WOOD, OR OTHER APPROVED METHODS OF TERMITE PROTECTION LABELED FOR USE AS A PREVENTATIVE TREATMENT TO NEW CONSTRUCTION. A CERTIFICATE OF COMPLIANCE SHALL BE ISSUED TO THE BUILDING DEPARTMENT BY THE LICENSED PEST CONTROL COMPANY THAT CONTAINS THE FOLLOWING STATEMENT: "THE BUILDING HAS RECEIVED A COMPLETE TREATMENT FOR THE PREVENTION OF SUBTERRANEAN TERMITES. TREATMENT IS IN ACCORDANCE WITH RULES AND LAWS ESTABLISHED BY THE FLORIDA DEPARTMENT OF AGRICULTURE AND CONSUMER SERVICES."



① LEVEL 1 UNITS
 3/16" = 1'-0"



② LEVEL 2 UNITS
 3/16" = 1'-0"

REV	DATE	DESCRIPTION

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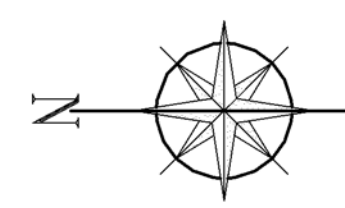
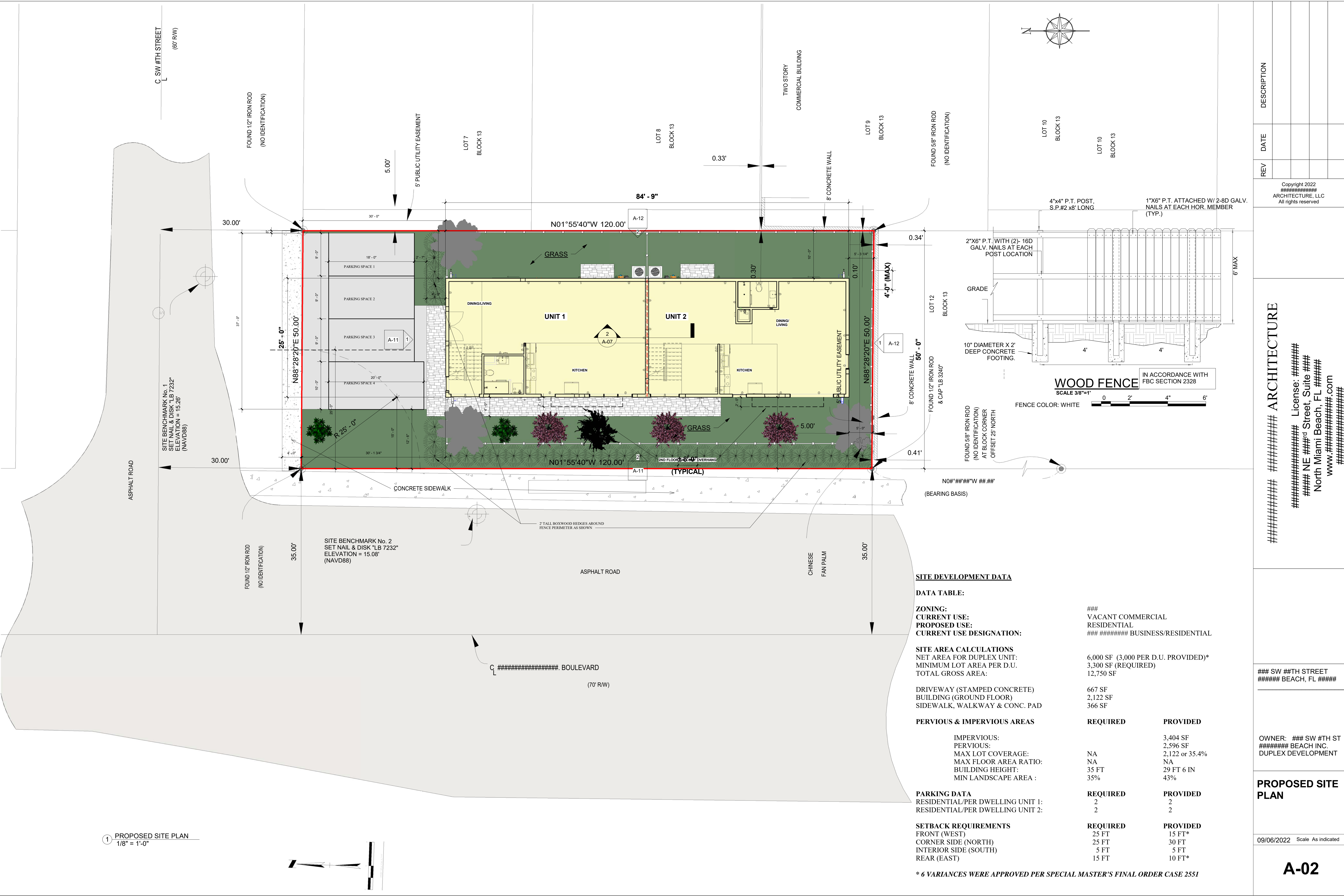
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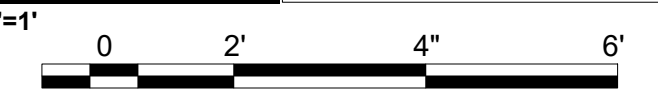
UNIT 1 AND UNIT 2 - SCHEMATIC LAYOUTS

09/06/2022 Scale As Indicated



WOOD FENCE
 IN ACCORDANCE WITH
 FBC SECTION 2328
 SCALE 3/8"=1'

FENCE COLOR: WHITE



SITE DEVELOPMENT DATA

DATA TABLE:

ZONING: ###
CURRENT USE: VACANT COMMERCIAL
PROPOSED USE: RESIDENTIAL
CURRENT USE DESIGNATION: ### BUSINESS/RESIDENTIAL

SITE AREA CALCULATIONS
 NET AREA FOR DUPLEX UNIT: 6,000 SF (3,000 PER D.U. PROVIDED)*
 MINIMUM LOT AREA PER D.U.: 3,300 SF (REQUIRED)
 TOTAL GROSS AREA: 12,750 SF

DRIVEWAY (STAMPED CONCRETE) 667 SF
 BUILDING (GROUND FLOOR) 2,122 SF
 SIDEWALK, WALKWAY & CONC. PAD 366 SF

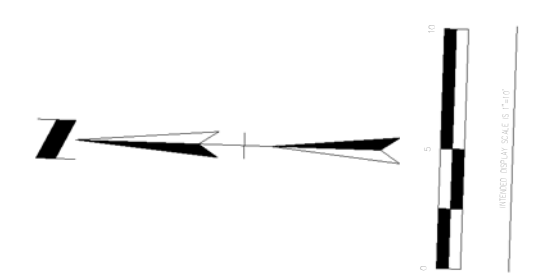
PERVIOUS & IMPERVIOUS AREAS	REQUIRED	PROVIDED
IMPERVIOUS:		3,404 SF
PERVIOUS:		2,596 SF
MAX LOT COVERAGE:	NA	2,122 or 35.4%
MAX FLOOR AREA RATIO:	NA	NA
BUILDING HEIGHT:	35 FT	29 FT 6 IN
MIN LANDSCAPE AREA :	35%	43%

PARKING DATA	REQUIRED	PROVIDED
RESIDENTIAL/PER DWELLING UNIT 1:	2	2
RESIDENTIAL/PER DWELLING UNIT 2:	2	2

SETBACK REQUIREMENTS	REQUIRED	PROVIDED
FRONT (WEST)	25 FT	15 FT*
CORNER SIDE (NORTH)	25 FT	30 FT
INTERIOR SIDE (SOUTH)	5 FT	5 FT
REAR (EAST)	15 FT	10 FT*

* 6 VARIANCES WERE APPROVED PER SPECIAL MASTER'S FINAL ORDER CASE 2551

1 PROPOSED SITE PLAN
 1/8" = 1'-0"



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 DUPLEX DEVELOPMENT

PROPOSED SITE PLAN

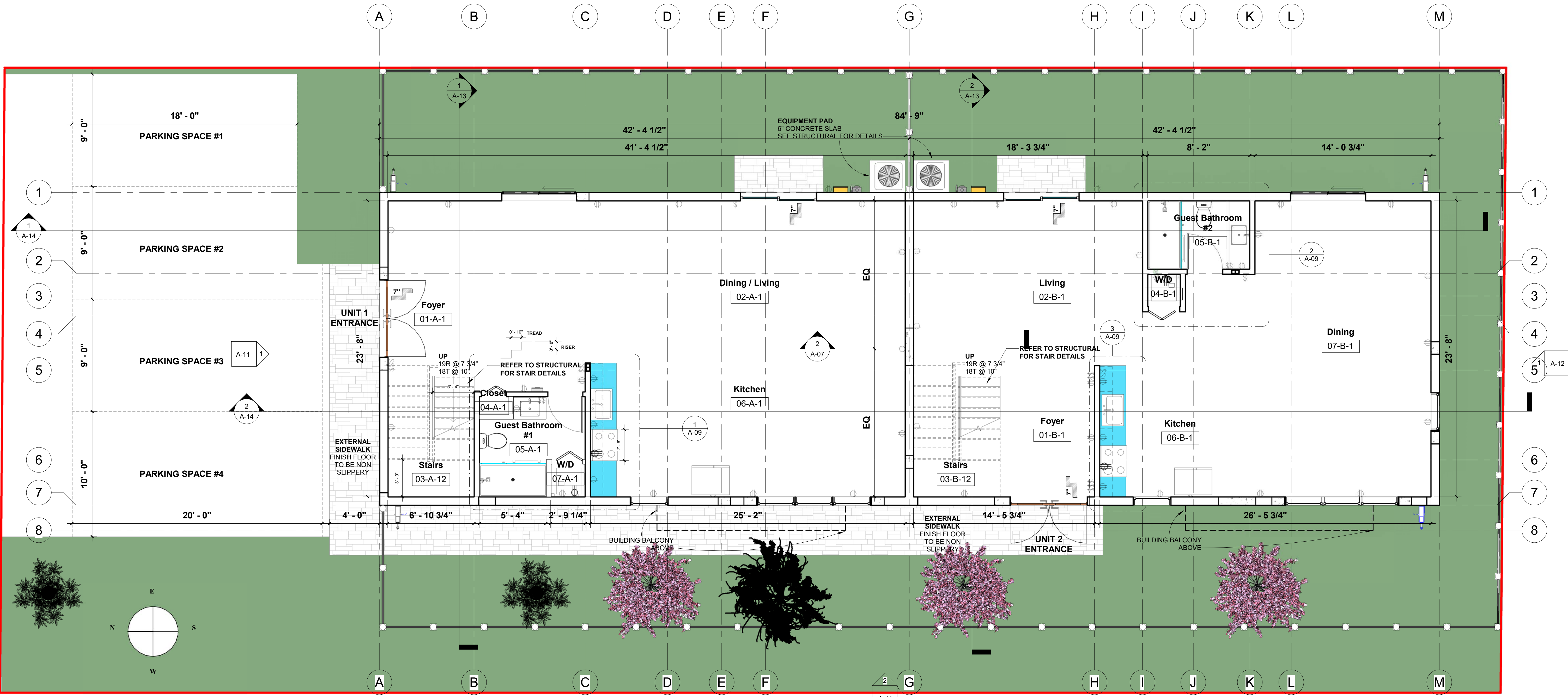
09/06/2022 Scale As indicated

TERMITE STATEMENT
 PER FBC SECTION 1816: TERMITE PROTECTION SHALL BE PROVIDED BY REGISTERED TERMITICIDES, INCLUDING SOIL APPLIED PESTICIDES, BAITING SYSTEMS, AND PESTICIDES APPLIED TO WOOD, OR OTHER APPROVED METHODS OF TERMITE PROTECTION LABELED FOR USE AS A PREVENTATIVE TREATMENT TO NEW CONSTRUCTION. A CERTIFICATE OF COMPLIANCE SHALL BE ISSUED TO THE BUILDING DEPARTMENT BY THE LICENSED PEST CONTROL COMPANY THAT CONTAINS THE FOLLOWING STATEMENT: "THE BUILDING HAS RECEIVED A COMPLETE TREATMENT FOR THE PREVENTION OF SUBTERRANEAN TERMITES. TREATMENT IS IN ACCORDANCE WITH RULES AND LAWS ESTABLISHED BY THE FLORIDA DEPARTMENT OF AGRICULTURE AND CONSUMER SERVICES."

FIRE RATINGS DESCRIPTION
 1 X 3 FURRING 16" O.C. , ONE LAYER 5/8" TYPE X GYPSUM LATH, 5d CEMENT-COATED OR RING SHANKED NAILS 6" O.C. PAPER TAPE EMBEDDED IN CEMENTITICIOUS COMPOUND OVER JOINTS, EXPOSED NAIL HEADS COVERED WITH COMPOUND OVER JOINTS, EXPOSED NAIL HEADS COVERED WITH COMPOUND AND PRODUCT APPROVED INSULATION OF FIBERGLASS OR MINERAL WOOL BATTS, OR BLOWN IN FIBERGLASS, MINERAL WOOL OR CELLULOSIC INSULATION HAVING A MINIMUM INSULATION VALUE OF R-11.

NOTE:
 EVERY CLOSET DOOR LATCH SHALL BE SUCH THAT CHILDREN CAN OPEN THE DOOR FROM INSIDE THE CLOSET. AS PER FBC EVERY BATHROOM DOOR LOCK SHALL BE DESIGNED TO PERMIT THE PENING OF THE LOCKED DOOR FROM THE OUTSIDE IN AN EMERGENCY. AS PER FBC.
 ALL HALLWAY DOORS TO BE NON-LOCKABLE (PRIMARY MEANS OF ESCAPE)

NOTE:
 ALL EGRESS WINDOWS TO COMPLY W/ FBC: AN OUTSIDE WINDOW OR DOOR OPERABLE FROM THE INSIDE WITHOUT THE USE OF TOOLS AND PROVIDING A CLEAR OPENING OF NOT LESS THAN 20" WIDE X 24" HIGH AND 5.7 SQ. FT. IN AREA. THE BOTTOM OF THE OPENING SHALL NOT BE MORE THAN 44" OF THE FLOOR. THE MODE OF OPERATION MUST NOT REQUIRE THE USE OF KEY, TOOL, SPECIAL KNOWLEDGE OR EFFORT TO MAKE AVAILABLE THE REQUIRED CLEAR OPENING, AND NO PART OF THE OPERATION MECHANISM SHALL BE PLACED HIGHER THAN 54" ABOVE THE FINISHED FLOOR.



1 LEVEL 1 FLOOR PLAN
 1/4" = 1'-0"

NOTES
 1. PROVIDE NEW INTERIOR PAINT FINISH, 2 COATS OVER PRIME. (COLOR TO BE SELECTED BY OWNER)
 2a. INSTALL QUIETWALK SOUNDPROOF ON LEVEL 2 THRU-OUT.
 2b. NEW LAMINATE FLOORING THRU-OUT. (TO BE SELECTED BY OWNER)
 3. SHOWER FLOORS AND WALLS ABOVE BATHTUBS WITH INSTALLED SHOWER HEADS AND IN SHOWER COMPARTMENTS SHALL BE FINISHED WITH A NON-ABSORBENT SURFACE EXTENDED TO A HEIGHT OF NOT LESS THAN 6 FT ABOVE THE FLOOR. - FBC R307.2.
 4. FLAME SPREAD FOR WALL AND CEILING FINISHES TO BE MAX. 200, SMOKE DEVELOPED MAX. 450 -FBC R302.9 AND FLAME SPREAD FOR INSULATION TO BE MAX. 25, SMOKE DEVELOPED MAX. 450-FBC R302.10.

NOTE :
 SEPARATE PERMIT APPLICATIONS WILL BE SUBMITTED FOR EXTERIOR DOORS/WINDOWS, STAIR AND BALCONY RAILING, ROOF SYSTEM, FENCE.

NOTE :
 TYPE OF CONSTRUCTION: III-B

CHECK THE COMPLETE ROOM SCHEDULE AT THE CD-07 SHEET

Level 1 Room Schedule						
UNIT	LEVEL	NR.	ROOM	AREA	PERIMETER	UPPER LIMIT
UNIT 1	LEVEL 1	01-A-1	Foyer	91 SF	40' - 2"	LEVEL 1 CEILING
UNIT 1	LEVEL 1	02-A-1	Dining / Living	467 SF	99' - 6"	LEVEL 1 CEILING
UNIT 1	LEVEL 1	03-A-12	Stairs	72 SF	34' - 10"	ATTIC STRUCTURAL FLOOR
UNIT 1	LEVEL 1	04-A-1	Closet	3 SF	7' - 7"	LEVEL 1 CEILING
UNIT 1	LEVEL 1	05-A-1	Guest Bathroom #1	54 SF	33' - 0"	LEVEL 1 CEILING

Level 1 Room Schedule						
UNIT	LEVEL	NR.	ROOM	AREA	PERIMETER	UPPER LIMIT
UNIT 1	LEVEL 1	06-A-1	Kitchen	270 SF	71' - 9"	LEVEL 1 CEILING
UNIT 1	LEVEL 1	07-A-1	W/D	7 SF	10' - 9"	LEVEL 1 CEILING
UNIT 2	LEVEL 1	01-B-1	Foyer	80 SF	36' - 2"	LEVEL 1 CEILING
UNIT 2	LEVEL 1	02-B-1	Living	256 SF	69' - 9"	LEVEL 1 CEILING
UNIT 2	LEVEL 1	03-B-12	Stairs	72 SF	34' - 10"	ATTIC STRUCTURAL FLOOR
UNIT 2	LEVEL 1	04-B-1	W/D	7 SF	10' - 4"	LEVEL 1 CEILING
UNIT 2	LEVEL 1	05-B-1	Guest Bathroom #2	45 SF	27' - 3"	LEVEL 1 CEILING
UNIT 2	LEVEL 1	06-B-1	Kitchen	127 SF	45' - 3"	LEVEL 1 CEILING
UNIT 2	LEVEL 1	07-B-1	Dining	377 SF	86' - 7"	LEVEL 1 CEILING

REV	DATE	DESCRIPTION

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SW #TH STREET
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OWNER: ### SW #TH ST
 ##### BEACH INC.
 DUPLEX DEVELOPMENT

LEVEL 1 FLOOR PLAN

09/06/2022 Scale 1/4" = 1'-0"

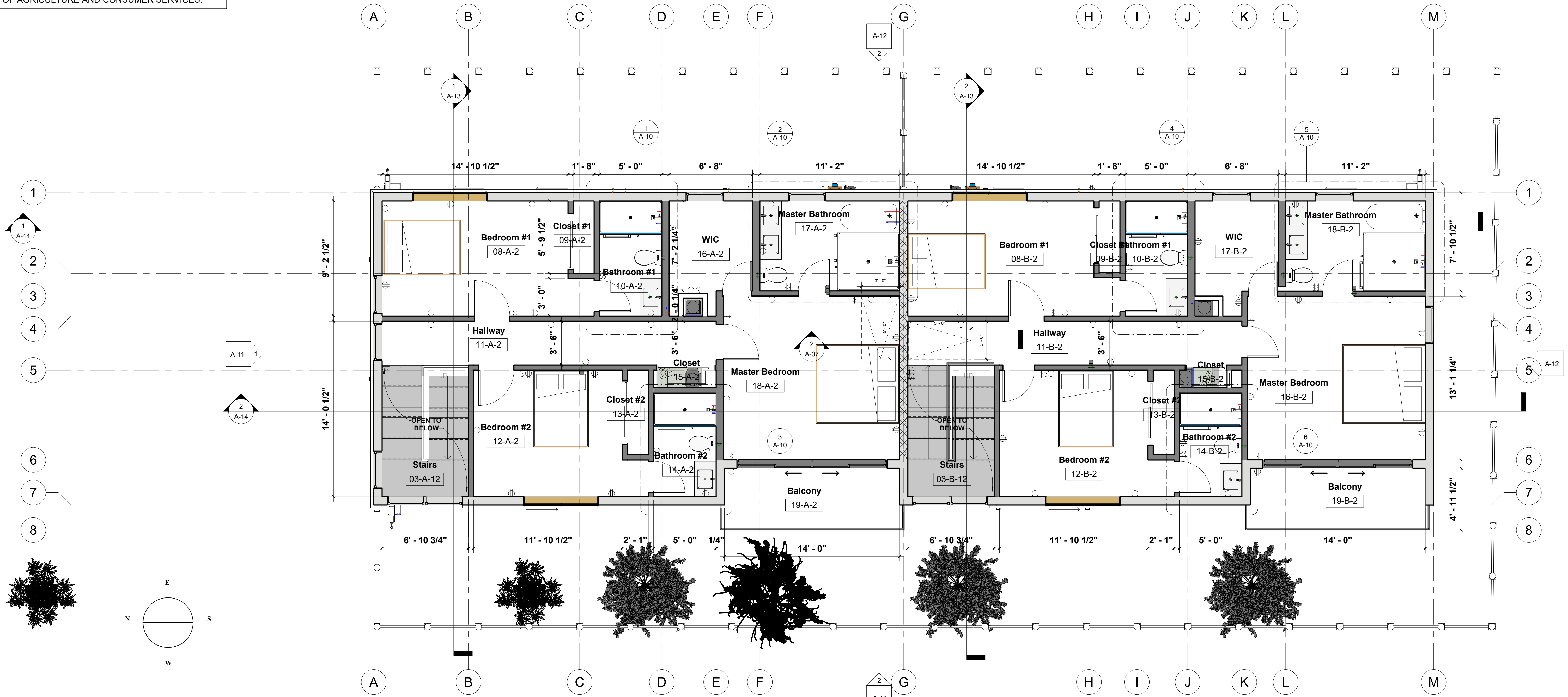
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NOTE:
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 ALL HALLWAY DOORS TO BE NON-LOCKABLE (PRIMARY MEANS OF ESCAPE)

NOTE:
 ALL EGRESS WINDOWS TO COMPLY W/ FBC: AN OUTSIDE WINDOW OR DOOR OPERABLE FROM THE INSIDE WITHOUT THE USE OF TOOLS AND PROVIDING A CLEAR OPENING OF NOT LESS THAN 20" WIDE X 24" HIGH AND 5.7 SQ. FT. IN AREA. THE BOTTOM OF THE OPENING SHALL NOT BE MORE THAN 44" OF THE FLOOR. THE MODE OF OPERATION MUST NOT REQUIRE THE USE OF KEY, TOOL, SPECIAL KNOWLEDGE OR EFFORT TO MAKE AVAILABLE THE REQUIRED CLEAR OPENING, AND NO PART OF THE OPERATION MECHANISM SHALL BE PLACED HIGHER THAN 54" ABOVE THE FINISHED FLOOR.

NOTE:
 Building Code: FBC 2020 7th
 Occupancy Type: R-3
 Type of Construction: III-B
 Classification of Work:
 New construction



1 LEVEL 2 FLOOR PLAN
 1/4" = 1'-0"

CHECK THE COMPLETE ROOM SCHEDULE ON SHEET A-07

Level 2 Room Schedule						
UNIT	LEVEL	NR.	ROOM	AREA	PERIMETER	UPPER LIMIT

UNIT 1						
UNIT 1	LEVEL 2	NR.	ROOM	AREA	PERIMETER	UPPER LIMIT
UNIT 1	LEVEL 2	08-A-2	Bedroom #1	143 SF	52' - 4"	ATTIC STRUCTURAL FLOOR
UNIT 1	LEVEL 2	09-A-2	Closet #1	10 SF	14' - 11"	ATTIC STRUCTURAL FLOOR
UNIT 1	LEVEL 2	10-A-2	Bathroom #1	46 SF	28' - 5"	ATTIC STRUCTURAL FLOOR
UNIT 1	LEVEL 2	11-A-2	Hallway	94 SF	60' - 6"	ATTIC STRUCTURAL FLOOR
UNIT 1	LEVEL 2	12-A-2	Bedroom #2	126 SF	48' - 2"	ATTIC STRUCTURAL FLOOR
UNIT 1	LEVEL 2	13-A-2	Closet #2	11 SF	16' - 11"	ATTIC STRUCTURAL FLOOR
UNIT 1	LEVEL 2	14-A-2	Bathroom #2	41 SF	26' - 7"	ATTIC STRUCTURAL FLOOR
UNIT 1	LEVEL 2	15-A-2	Closet	7 SF	12' - 10"	ATTIC STRUCTURAL FLOOR
UNIT 1	LEVEL 2	16-A-2	WIC	51 SF	35' - 5"	ATTIC STRUCTURAL FLOOR
UNIT 1	LEVEL 2	17-A-2	Master Bathroom	80 SF	36' - 9"	ATTIC STRUCTURAL FLOOR
UNIT 1	LEVEL 2	18-A-2	Master Bedroom	185 SF	54' - 5"	ATTIC STRUCTURAL FLOOR
UNIT 1	LEVEL 2	19-A-2	Balcony	71 SF	39' - 4"	ATTIC STRUCTURAL FLOOR

Level 2 Room Schedule						
UNIT	LEVEL	NR.	ROOM	AREA	PERIMETER	UPPER LIMIT

UNIT 2						
UNIT 2	LEVEL 2	NR.	ROOM	AREA	PERIMETER	UPPER LIMIT
UNIT 2	LEVEL 2	08-B-2	Bedroom #1	143 SF	52' - 4"	ATTIC STRUCTURAL FLOOR
UNIT 2	LEVEL 2	09-B-2	Closet #1	10 SF	14' - 9"	ATTIC STRUCTURAL FLOOR
UNIT 2	LEVEL 2	10-B-2	Bathroom #1	46 SF	28' - 5"	ATTIC STRUCTURAL FLOOR
UNIT 2	LEVEL 2	11-B-2	Hallway	93 SF	60' - 5"	ATTIC STRUCTURAL FLOOR
UNIT 2	LEVEL 2	12-B-2	Bedroom #2	126 SF	48' - 2"	ATTIC STRUCTURAL FLOOR
UNIT 2	LEVEL 2	13-B-2	Closet #2	11 SF	16' - 11"	ATTIC STRUCTURAL FLOOR
UNIT 2	LEVEL 2	14-B-2	Bathroom #2	41 SF	26' - 7"	ATTIC STRUCTURAL FLOOR
UNIT 2	LEVEL 2	15-B-2	Closet	5 SF	10' - 5"	ATTIC STRUCTURAL FLOOR
UNIT 2	LEVEL 2	16-B-2	Master Bedroom	187 SF	54' - 8"	ATTIC STRUCTURAL FLOOR
UNIT 2	LEVEL 2	17-B-2	WIC	52 SF	31' - 9"	ATTIC STRUCTURAL FLOOR
UNIT 2	LEVEL 2	18-B-2	Master Bathroom	80 SF	36' - 9"	ATTIC STRUCTURAL FLOOR
UNIT 2	LEVEL 2	19-B-2	Balcony	70 SF	38' - 8"	ATTIC STRUCTURAL FLOOR

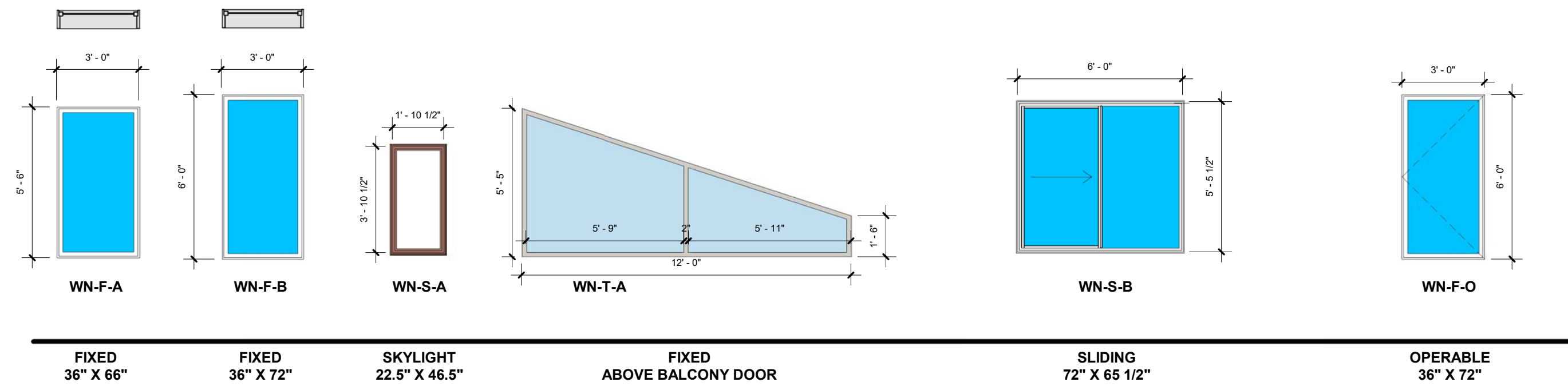
NOTES
 1. PROVIDE NEW INTERIOR PAINT FINISH, 2 COATS OVER PRIME. (COLOR TO BE SELECTED BY OWNER)
 2a. INSTALL QUIETWALK SOUNDPROOF ON LEVEL 2 THRU-OUT.
 2b. NEW LAMINATE FLOORING THRU-OUT. (TO BE SELECTED BY OWNER)
 3. SHOWER FLOORS AND WALLS ABOVE BATHTUBS WITH INSTALLED SHOWER HEADS AND IN SHOWER COMPARTMENTS SHALL BE FINISHED WITH A NON-ABSORBENT SURFACE EXTENDED TO A HEIGHT OF NOT LESS THAN 6 FT ABOVE THE FLOOR. - FBC R307.2
 4. FLAME SPREAD FOR WALL AND CEILING FINISHES TO BE MAX. 200, SMOKE DEVELOPED MAX. 450 -FBC R302.9 AND FLAME SPREAD FOR INSULATION TO BE MAX. 25, SMOKE DEVELOPED MAX. 450-FBC R302.10.

NOTE:
 SEPARATE PERMIT APPLICATIONS WILL BE SUBMITTED FOR EXTERIOR DOORS/WINDOWS, STAIR AND BALCONY RAILING, ROOF SYSTEM, FENCE.

REV	DATE	DESCRIPTION
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### SW #TH STREET ##### BEACH, FL #####		
OWNER: ### SW #TH ST ##### BEACH INC. DUPLEX DEVELOPMENT		
LEVEL 2 FLOOR PLAN		
09/06/2022 Scale 1/4" = 1'-0"		
A-04		

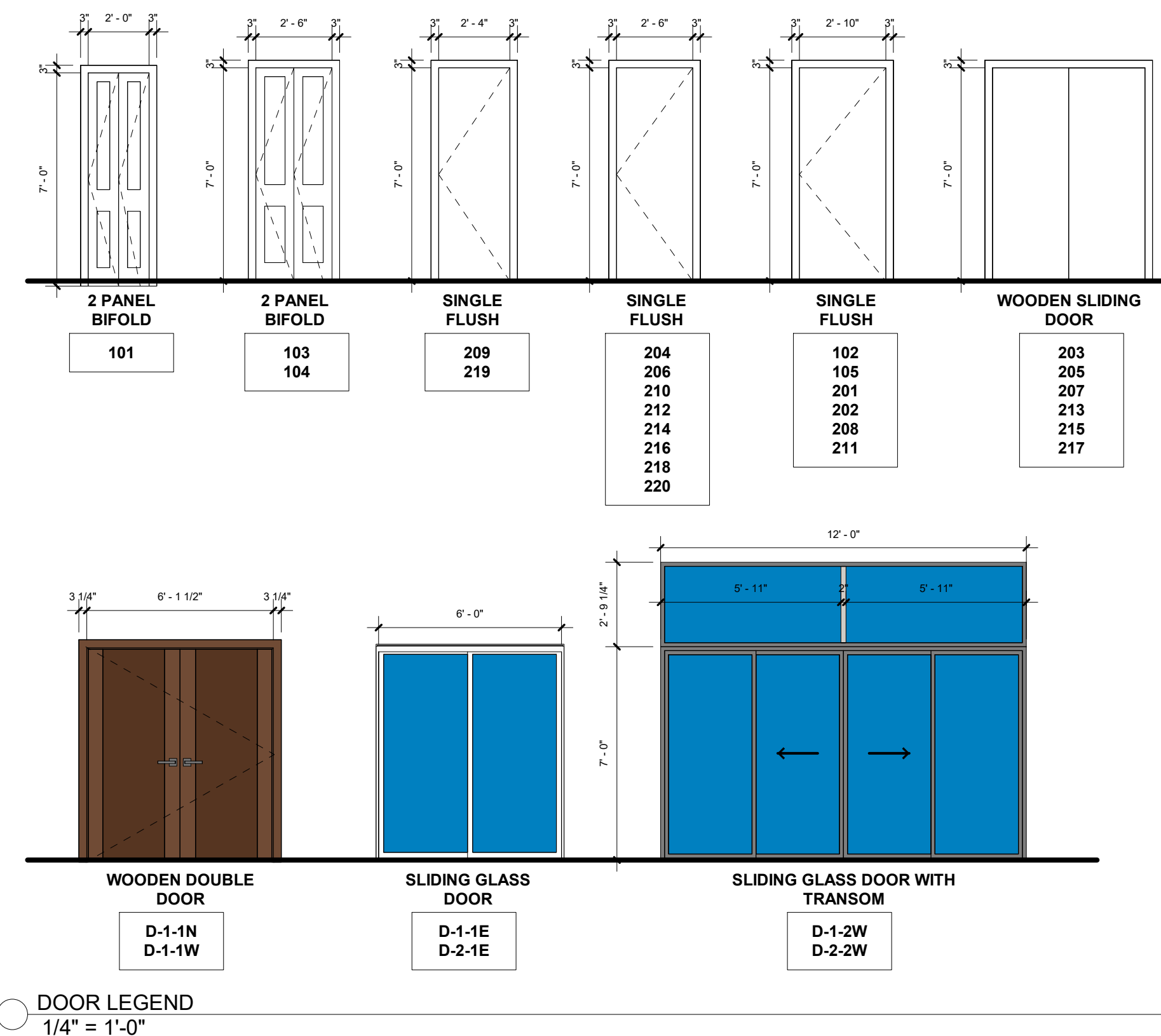
Window Schedule	
MARK	TYPE
WN-F-A	Fixed: 36" X 66"
WN-F-B	Fixed: 36" X 72"
WN-F-O	Fixed: 36" X 72" OPERABLE
WN-S-A	Skylight: 22-1/2 in. x 46-1/2 in.
WN-S-B	Sliding_Window_6261: SLIDING 72W X 65.5H
WN-T-A	12' - 0" VARIES FIXED W/ MULLIONS

2



○ WINDOW LEGEND
1/4" = 1'-0"

Door Schedule										
UNIT	LEVEL	MARK	WIDTH	HEIGHT	PLACEMENT	SILL H.	TYPE	FINISH	FRAME	THICKNESS
UNIT 1										
UNIT 1	LEVEL 1	101	2' - 0"	7' - 0"	Interior	0' - 0"	2 Panel - Bifold	White (1)	White (1)	0' - 2"
UNIT 1	LEVEL 1	102	2' - 10"	7' - 0"	Interior	0' - 0"	Single Flush	Paint	Wood	0' - 2"
UNIT 1	LEVEL 1	103	2' - 6"	7' - 0"	Interior	0' - 0"	2 Panel - Bifold	Paint	Wood	0' - 2"
UNIT 1	LEVEL 1	D-1-1N	6' - 2"	7' - 1"	Exterior	0' - 0"	Sliding Glass Door	Wood	Wood	0' - 2"
UNIT 1	LEVEL 1	D-2-1E	6' - 0"	7' - 0"	Exterior	0' - 0"	Sliding Glass Door	Glass	Wood	0' - 2"
UNIT 2										
UNIT 1	LEVEL 2	201	2' - 10"	7' - 0"	Interior	0' - 0"	Single Flush	Paint	Wood	0' - 2"
UNIT 1	LEVEL 2	202	2' - 10"	7' - 0"	Interior	0' - 0"	Single Flush	White (1)	White (1)	0' - 2"
UNIT 1	LEVEL 2	203	4' - 3"	7' - 0"	Interior	0' - 0"	Wooden Sliding Door	White (1)	White (1)	0' - 2"
UNIT 1	LEVEL 2	204	2' - 6"	7' - 0"	Interior	0' - 0"	Single Flush	Paint	Wood	0' - 2"
UNIT 1	LEVEL 2	205	4' - 11"	7' - 0"	Interior	0' - 0"	Wooden Sliding Door	Paint	Wood	0' - 2"
UNIT 1	LEVEL 2	206	2' - 6"	7' - 0"	Interior	0' - 0"	Single Flush	Paint	Wood	0' - 2"
UNIT 1	LEVEL 2	207	4' - 7"	7' - 0"	Interior	0' - 0"	Wooden Sliding Door	Paint	Wood	0' - 2"
UNIT 1	LEVEL 2	208	2' - 10"	7' - 0"	Interior	0' - 0"	Single Flush	Paint	Wood	0' - 2"
UNIT 1	LEVEL 2	209	2' - 4"	7' - 0"	Interior	0' - 0"	Single Flush	Paint	Wood	0' - 2"
UNIT 1	LEVEL 2	210	2' - 6"	7' - 0"	Interior	0' - 0"	Single Flush	Paint	Wood	0' - 2"
UNIT 1	LEVEL 2	D-1-2W	12' - 0"	7' - 0"	Exterior	0' - 0"	Sliding Glass Door	Glass	Metal - Aluminum	0' - 2"
UNIT 2										
UNIT 2	LEVEL 1	104	2' - 6"	7' - 0"	Interior	0' - 0"	2 Panel - Bifold	Paint	Wood	0' - 2"
UNIT 2	LEVEL 1	105	2' - 10"	7' - 0"	Interior	0' - 0"	Single Flush	White (1)	White (1)	0' - 2"
UNIT 2	LEVEL 1	D-1-1E	6' - 0"	7' - 0"	Exterior	0' - 0"	Sliding Glass Door	Glass	Wood	0' - 2"
UNIT 2	LEVEL 1	D-1-1W	6' - 2"	7' - 1"	Exterior	0' - 0"	Sliding Glass Door	Wood	Wood	0' - 2"
UNIT 2										
UNIT 2	LEVEL 2	211	2' - 10"	7' - 0"	Interior	0' - 0"	Single Flush	Paint	Wood	0' - 2"
UNIT 2	LEVEL 2	212	2' - 6"	7' - 0"	Interior	0' - 0"	Single Flush	Paint	Wood	0' - 2"
UNIT 2	LEVEL 2	213	4' - 3"	7' - 0"	Interior	0' - 0"	Wooden Sliding Door	Paint	Wood	0' - 2"
UNIT 2	LEVEL 2	214	2' - 6"	7' - 0"	Interior	0' - 0"	Single Flush	Paint	Wood	0' - 2"
UNIT 2	LEVEL 2	215	4' - 11"	7' - 0"	Interior	0' - 0"	Wooden Sliding Door	White (1)	White (1)	0' - 2"
UNIT 2	LEVEL 2	216	2' - 6"	7' - 0"	Interior	0' - 0"	Single Flush	Paint	Wood	0' - 2"
UNIT 2	LEVEL 2	217	3' - 1"	7' - 0"	Interior	0' - 0"	Wooden Sliding Door	Paint	Wood	0' - 2"
UNIT 2	LEVEL 2	218	2' - 6"	7' - 0"	Interior	0' - 0"	Single Flush	Paint	Wood	0' - 2"
UNIT 2	LEVEL 2	219	2' - 4"	7' - 0"	Interior	0' - 0"	Single Flush	Paint	Wood	0' - 2"
UNIT 2	LEVEL 2	220	2' - 6"	7' - 0"	Interior	0' - 0"	Single Flush	Paint	Wood	0' - 2"
UNIT 2	LEVEL 2	D-2-2W	12' - 0"	7' - 0"	Exterior	0' - 0"	Sliding Glass Door	Glass	Wood	0' - 2"



○ DOOR LEGEND
1/4" = 1'-0"

DESCRIPTION

DATE

REV

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SW #TH STREET
BEACH, FL

OWNER: ### SW #TH ST
BEACH INC.
DUPLEX DEVELOPMENT

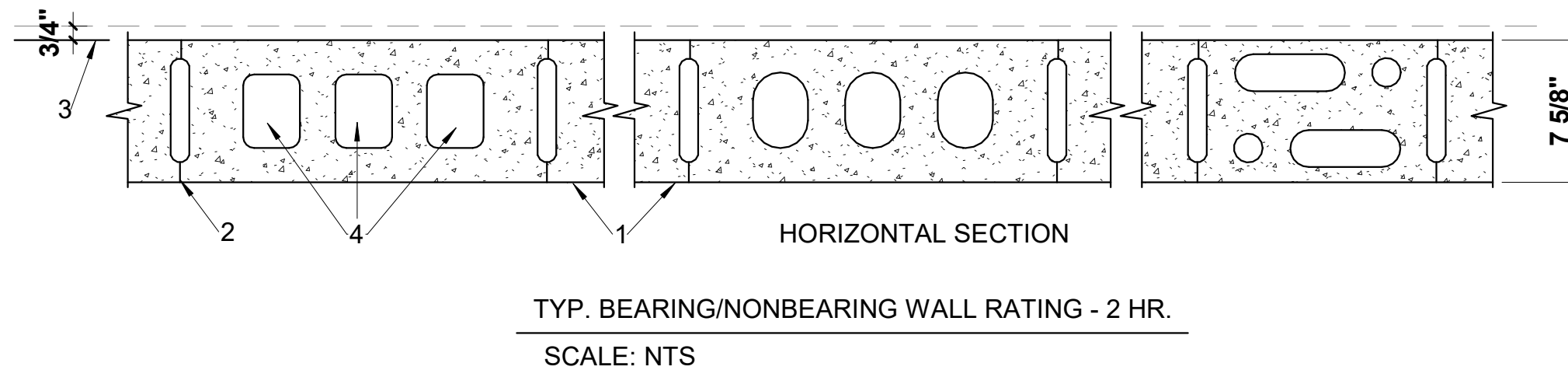
DOORS AND
WINDOWS
SCHEDULES

09/06/2022 Scale 1/4" = 1'-0"

A-06

AS PER F.B.C. 2020, THE GYPSUM WALL BOARD SHALL BE SUPPORTED AS SHOWN FOR FIRE RESISTANCE RATINGS OF THREE (3) HOURS OR LESS.

- STRUCTURAL STEEL COLUMN. EITHER WIDE FLANGE OR TUBULAR SHAPES.
- 1 5/8 INCH (41.3MM) DEEP STUDS FABRICATED FROM 0.0179 INCH (0.46MM) MINIMUM THICKNESS GALVANIZED STEEL WITH 1 5/16 - OR 1 7/16 - INCH (33.6 OR 36.5MM) LEGS. THE LENGTH OF THE STEEL STUDS SHALL BE 1/2 INCH (12.7MM) LESS THAN THE LENGTH OF THE ASSEMBLY.
- TYPE X GYPSUM WALLBOARD IN ACCORDANCE WITH ASTM C36. FOR SINGLE LAYER APPLICATIONS THE WALLBOARD SHALL BE APPLIED VERTICALLY WITH NO PERMITTED AT A MINIMUM SPACING OF 8FT. (2438MM) PROVIDED THAT THE JOINTS IN SUCCESSIVE LAYERS ARE STAGGERED AT LEAST 12 INCHES (305MM). THE TOTAL REQUIRED THICKNESS OF WALLBOARD SHALL BE DETERMINED ON THE BASIS OF THE SPECIFIED FIRE RESISTANCE RATING AND THE WEIGHT-TO-HEATED-PERIMETER RATIO (W/D) OF THE COLUMN.
- GALVANIZED 0.0149 INCH (0.378MM) MINIMUM THICKNESS STEEL CORNER BEADS WITH 1 1/2 -INCH (38.1MM) LEGS ATTACHED TO THE WALLBOARD WITH 1 INCH (25.4MM) LONG, TYPE S SCREWS SPACED 12 INCHES (305MM) ON CENTER.
- NO. 18 SWG STEEL TIE WIRES SPACED 24 INCHES (610MM) ON CENTER.
- SHEET METAL ANGLES WITH 2-INCH LEGS FABRICATED FROM 0.0209 INCH (0.531MM) MINIMUM THICKNESS GALVANIZED STEEL.
- TYPE S SCREWS 1 INCH (25.4MM) LONG SHALL BE USED FOR ATTACHING THE FIRST LAYER OF WALLBOARD TO THE STEEL STUDS AND THE THIRD LAYER TO THE SHEET METAL ANGLES AT 24 INCHES (610MM) ON CENTER. TYPE S SCREWS 1 3/4 INCHES (44.5MM) LONG SHALL BE USED FOR ATTACHING THE SECOND LAYER OF WALL BOARD WALLBOARD TO THE STEEL STUDS AND THE FOURTH LAYER TP THE SHEET METAL ANGLES AT 12 INCHES (305MM) ON CENTER. TYPE S SCREWS 2 1/4 INCHES (57.2MM) LONG SHALL BE USED FOR ATTACHING THE THIRD LAYER OF WALLBOARD TO THE STEEL STUDS AT 12 INCHES (305MM) ON CENTER.

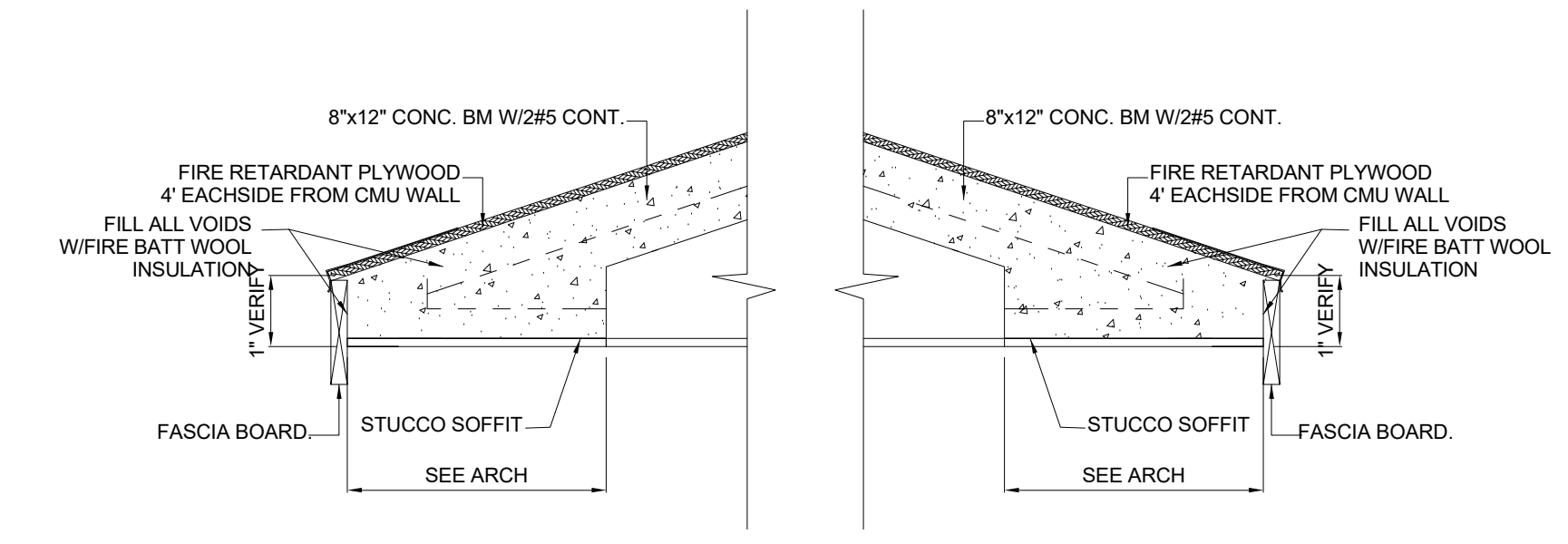


- CONCRETE BLOCKS* - VARIOUS DESIGNS. CLASSIFICATION D-2 (2HR).
- MORTAR - BLOCKS LAID IN FULL BED OF MORTAR, NOM. 3/8 IN. THICK, OF NOT LESS THAN 2-1/4 AND NOT MORE THAN 3-1/2 PARTS OF CLEAN SHARP SAND TO 1 PART PORTLAND CEMENT PROPORTIONED BY VOLUME) AND NOT MORE THAN 50 PERCENT HYDRATED LIME (BY CEMENT VOLUME). VERTICAL JOINTS STAGGERED.
- PORTLAND CEMENT STUCCO OR GYPSUM PLASTER - IF USED, ADD 1/2HR. TO CLASSIFICATION. WHERE COMBUSTIBLE MEMBERS ARE FRAMED IN WALL, PLASTER OR STUCCO MUST BE APPLIED ON THE FACE OPPOSITE FRAMING TO ACHIVE A MAX. CLASSIFICATION OF 1-1/2 HR. ATTACHED TO CONCRETE BLOCKS (ITEM-1).
- LOOSE MASONRY FILL - IF ALL CORE SPACES ARE FILLED WITH LOOSE DRY EXPANDED SLAG, EXPANDED CLAY OR SHALE (ROTARY KILN PROCESS), WATER REPELLANT VERMICULITE MASONRY FILL INSULATION, OR SILICONE TREATED PERLITE LOOSE FILL INSULATION ADD 2HR TO CLASSIFICATION.
- FOAMED PLASTIC* - (OPTIONAL - NOT SHOWN) 1-1/2 IN THICK MAX. 4FT WIDE SHEATHING ATTACHED TO CONCRETE BLOCKS (ITEM 1).

CELOTEX CORP. - TYPE THERMAX

*BEARING THE UL CLASSIFICATION MARKING

5 wall detail 1
1 1/2" = 1'-0"



RAKE BEAM EXTENDS TO FASCIA SECTION
3/4" = 1'-0" SECTION SCALE: 3/4" = 1'

Room Schedule																				
UNIT	LEVEL	NR.	ROOM	AREA	PERIMETER	FLOOR FINISH	CEILING FINISH	WALL FINISH												
								NORTH	EAST	WEST	SOUTH									
UNIT 1	LEVEL 1	01-A-1	Foyer	91 SF	40' - 2"		Gyp. Bd.													
UNIT 1	LEVEL 1	02-A-1	Dining / Living	467 SF	99' - 6"		Gyp. Bd.													
UNIT 1	LEVEL 1	03-A-12	Stairs	72 SF	34' - 10"		Gyp. Bd.													
UNIT 1	LEVEL 1	04-A-1	Closet	3 SF	7' - 7"		Gyp. Bd.													
UNIT 1	LEVEL 1	05-A-1	Guest Bathroom #1	54 SF	33' - 0"		Gyp. Bd.													
UNIT 1	LEVEL 1	06-A-1	Kitchen	270 SF	71' - 9"		Gyp. Bd.													
UNIT 1	LEVEL 1	07-A-1	W/D	7 SF	10' - 9"		Gyp. Bd.													

LEVEL 2											
UNIT 1	LEVEL 2	NR.	ROOM	AREA	PERIMETER	FLOOR FINISH	CEILING FINISH	NORTH	EAST	WEST	SOUTH
UNIT 1	LEVEL 2	08-A-2	Bedroom #1	143 SF	52' - 4"		Gyp. Bd.				
UNIT 1	LEVEL 2	09-A-2	Closet #1	10 SF	14' - 11"		Gyp. Bd.				
UNIT 1	LEVEL 2	10-A-2	Bathroom #1	46 SF	28' - 5"		Gyp. Bd.				
UNIT 1	LEVEL 2	11-A-2	Hallway	94 SF	60' - 6"		Gyp. Bd.				
UNIT 1	LEVEL 2	12-A-2	Bedroom #2	126 SF	48' - 2"		Gyp. Bd.				
UNIT 1	LEVEL 2	13-A-2	Closet #2	11 SF	16' - 11"		Gyp. Bd.				
UNIT 1	LEVEL 2	14-A-2	Bathroom #2	41 SF	26' - 7"		Gyp. Bd.				
UNIT 1	LEVEL 2	15-A-2	Closet	7 SF	12' - 10"		Gyp. Bd.				
UNIT 1	LEVEL 2	16-A-2	WIC	51 SF	35' - 5"		Gyp. Bd.				
UNIT 1	LEVEL 2	17-A-2	Master Bathroom	80 SF	36' - 9"		Gyp. Bd.				
UNIT 1	LEVEL 2	18-A-2	Master Bedroom	185 SF	54' - 5"		Gyp. Bd.				
UNIT 1	LEVEL 2	19-A-2	Balcony	71 SF	39' - 4"		Gyp. Bd.				

UNIT 1 TOTAL: 1,758 SF UNDER A/C

UNIT 2											
UNIT 2	LEVEL 1	NR.	ROOM	AREA	PERIMETER	FLOOR FINISH	CEILING FINISH	NORTH	EAST	WEST	SOUTH
UNIT 2	LEVEL 1	01-B-1	Foyer	80 SF	36' - 2"		Gyp. Bd.				
UNIT 2	LEVEL 1	02-B-1	Living	256 SF	69' - 9"		Gyp. Bd.				
UNIT 2	LEVEL 1	03-B-12	Stairs	72 SF	34' - 10"		Gyp. Bd.				
UNIT 2	LEVEL 1	04-B-1	W/D	7 SF	10' - 4"		Gyp. Bd.				
UNIT 2	LEVEL 1	05-B-1	Guest Bathroom #2	45 SF	27' - 3"		Gyp. Bd.				
UNIT 2	LEVEL 1	06-B-1	Kitchen	127 SF	45' - 3"		Gyp. Bd.				
UNIT 2	LEVEL 1	07-B-1	Dining	377 SF	86' - 7"		Gyp. Bd.				

LEVEL 2											
UNIT 2	LEVEL 2	NR.	ROOM	AREA	PERIMETER	FLOOR FINISH	CEILING FINISH	NORTH	EAST	WEST	SOUTH
UNIT 2	LEVEL 2	08-B-2	Bedroom #1	143 SF	52' - 4"		Gyp. Bd.				
UNIT 2	LEVEL 2	09-B-2	Closet #1	10 SF	14' - 9"		Gyp. Bd.				
UNIT 2	LEVEL 2	10-B-2	Bathroom #1	46 SF	28' - 5"		Gyp. Bd.				
UNIT 2	LEVEL 2	11-B-2	Hallway	93 SF	60' - 5"		Gyp. Bd.				
UNIT 2	LEVEL 2	12-B-2	Bedroom #2	126 SF	48' - 2"		Gyp. Bd.				
UNIT 2	LEVEL 2	13-B-2	Closet #2	11 SF	16' - 11"		Gyp. Bd.				
UNIT 2	LEVEL 2	14-B-2	Bathroom #2	41 SF	26' - 7"		Gyp. Bd.				
UNIT 2	LEVEL 2	15-B-2	Closet	5 SF	10' - 5"		Gyp. Bd.				
UNIT 2	LEVEL 2	16-B-2	Master Bedroom	187 SF	54' - 8"		Gyp. Bd.				
UNIT 2	LEVEL 2	17-B-2	WIC	52 SF	31' - 9"		Gyp. Bd.				
UNIT 2	LEVEL 2	18-B-2	Master Bathroom	80 SF	36' - 9"		Gyp. Bd.				
UNIT 2	LEVEL 2	19-B-2	Balcony	70 SF	38' - 8"		Gyp. Bd.				

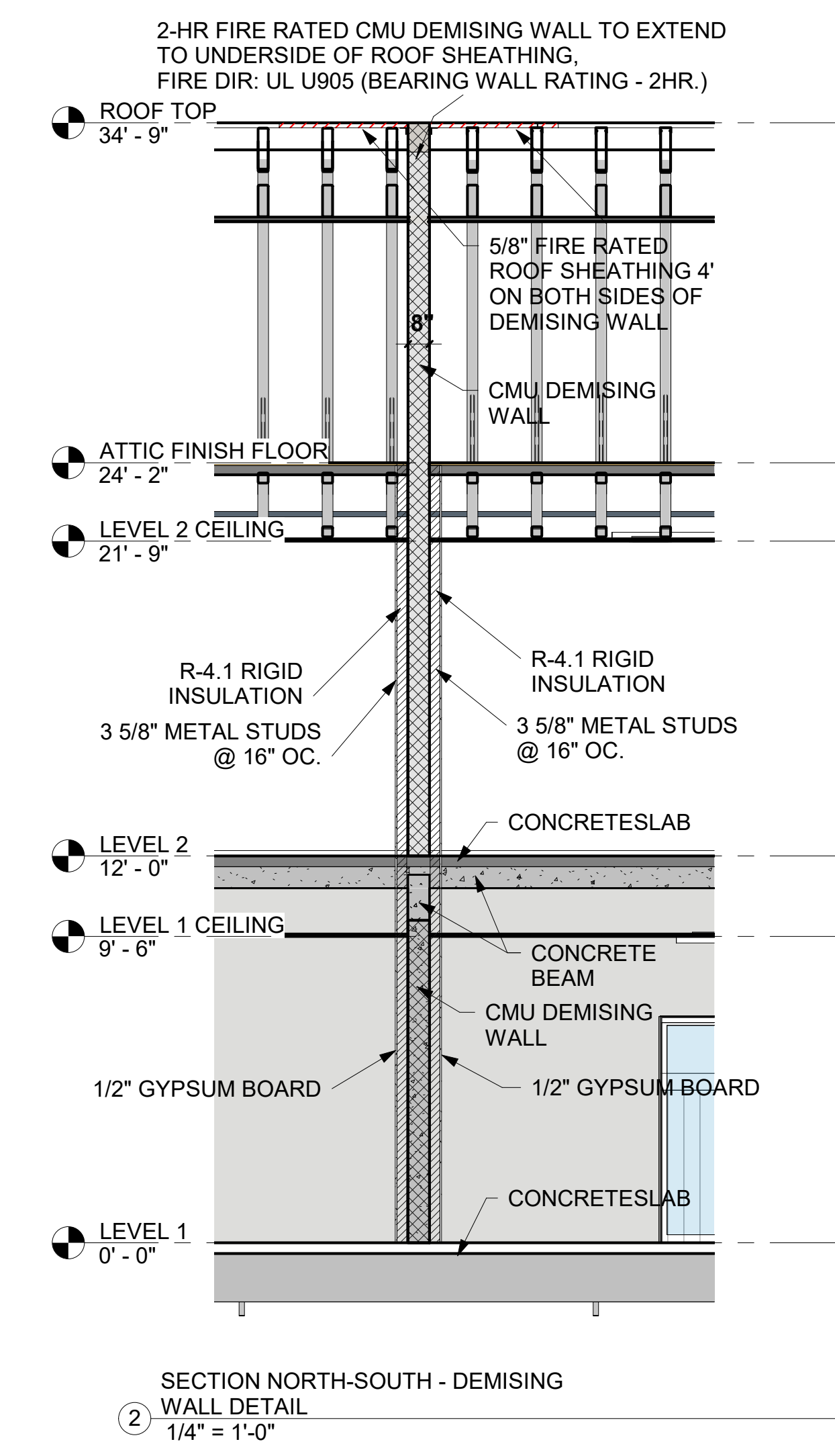
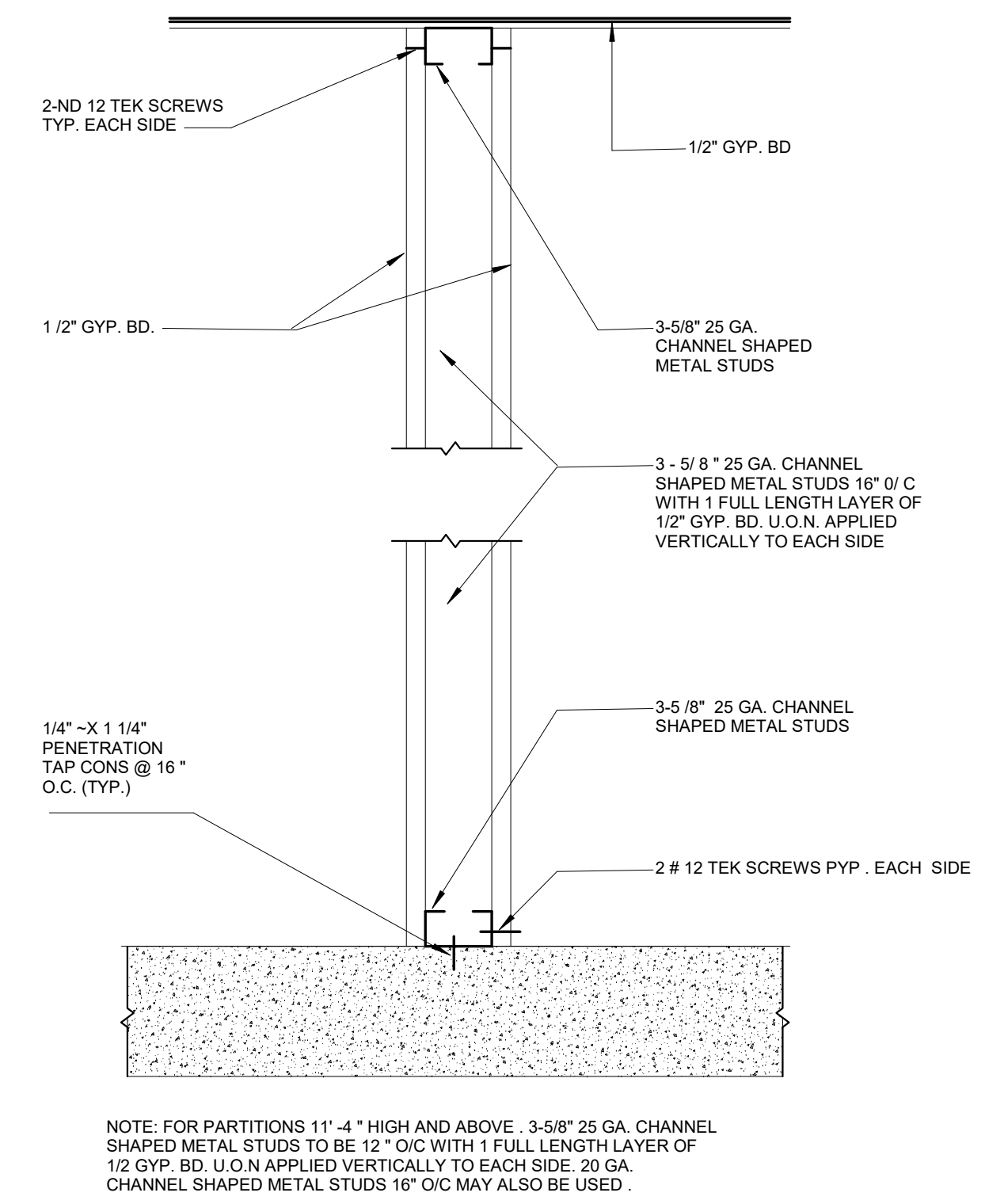
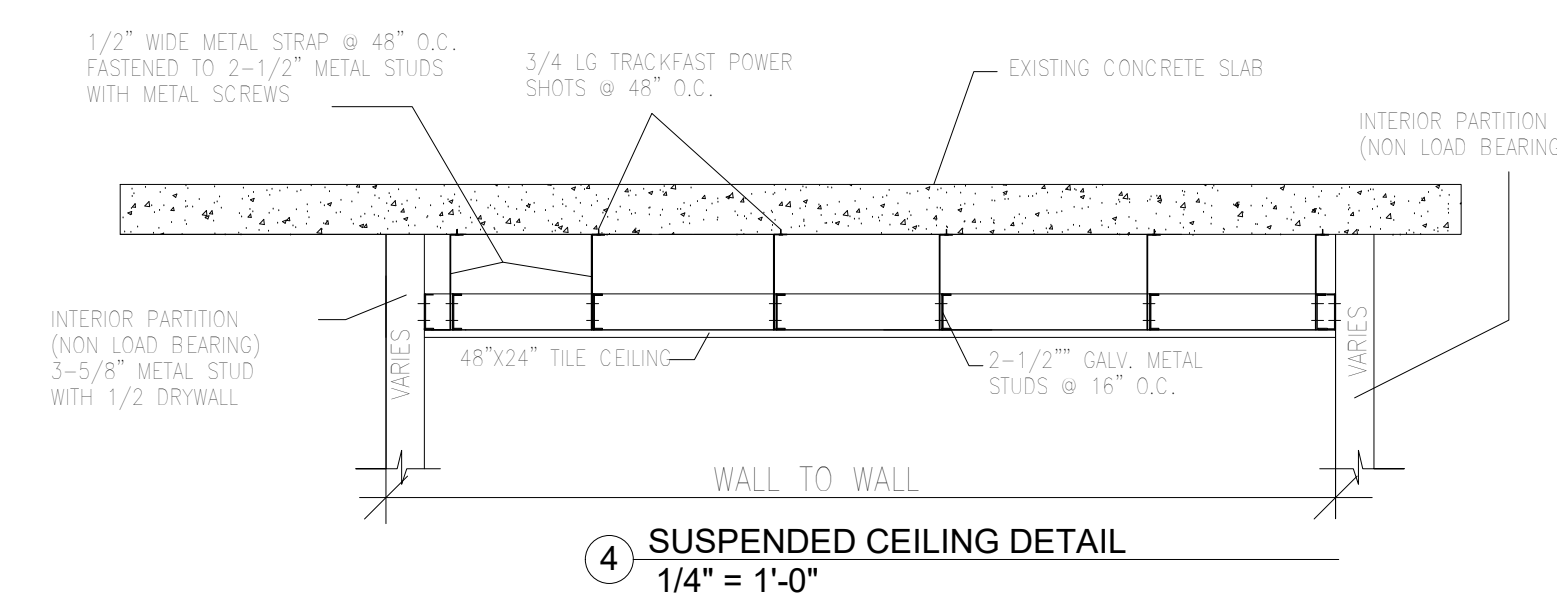
UNIT 2 TOTAL: 1,758 SF UNDER A/C

NOTE: TILE CEILINGS TO BE INSTALLED ON BOTH LEVELS THROUGHOUT

ROOM LEGEND:

0X - Number of the room;
 A - Unit 1;
 B - Unit 2;
 1 - The room is situated at the Level 1;
 2 - The room is situated at the Level 2;
 12 - The room is situated from Level 1 to Level 2.

UNIT 1
07-A-1
 ROOM NUMBER 7
 LOCATED AT THE LEVEL 1



SECTION NORTH-SOUTH - DEMISING WALL DETAIL
1/4" = 1'-0"

REV	DATE	DESCRIPTION

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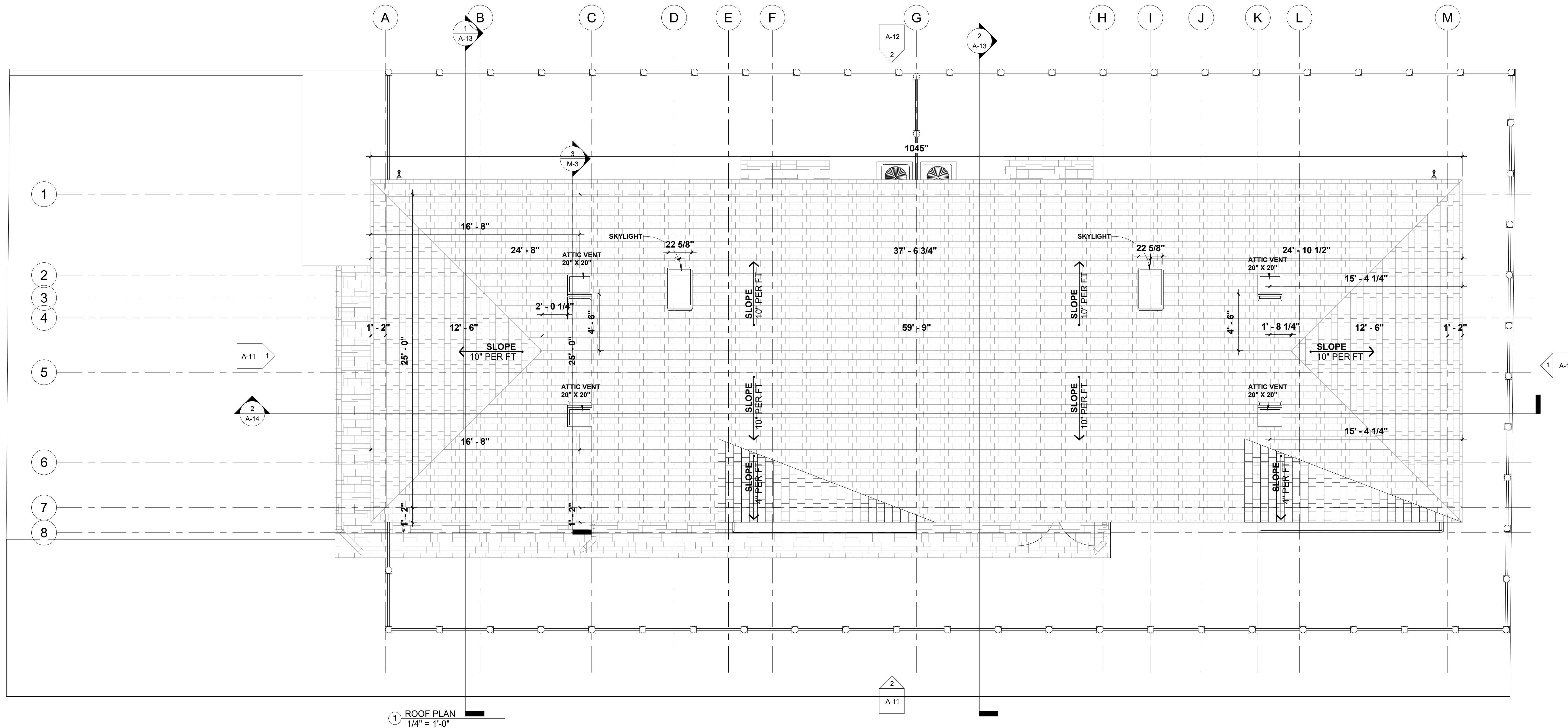
SW #TH STREET
 ##### BEACH, FL #####

OWNER: ### SW #TH ST
 ##### BEACH INC.
 DUPLEX DEVELOPMENT

ROOM SCHEDULES AND GENERAL DETAILS

09/06/2022 Scale As indicated

A-07



1 ROOF PLAN
1/4" = 1'-0"

REV	DATE	DESCRIPTION

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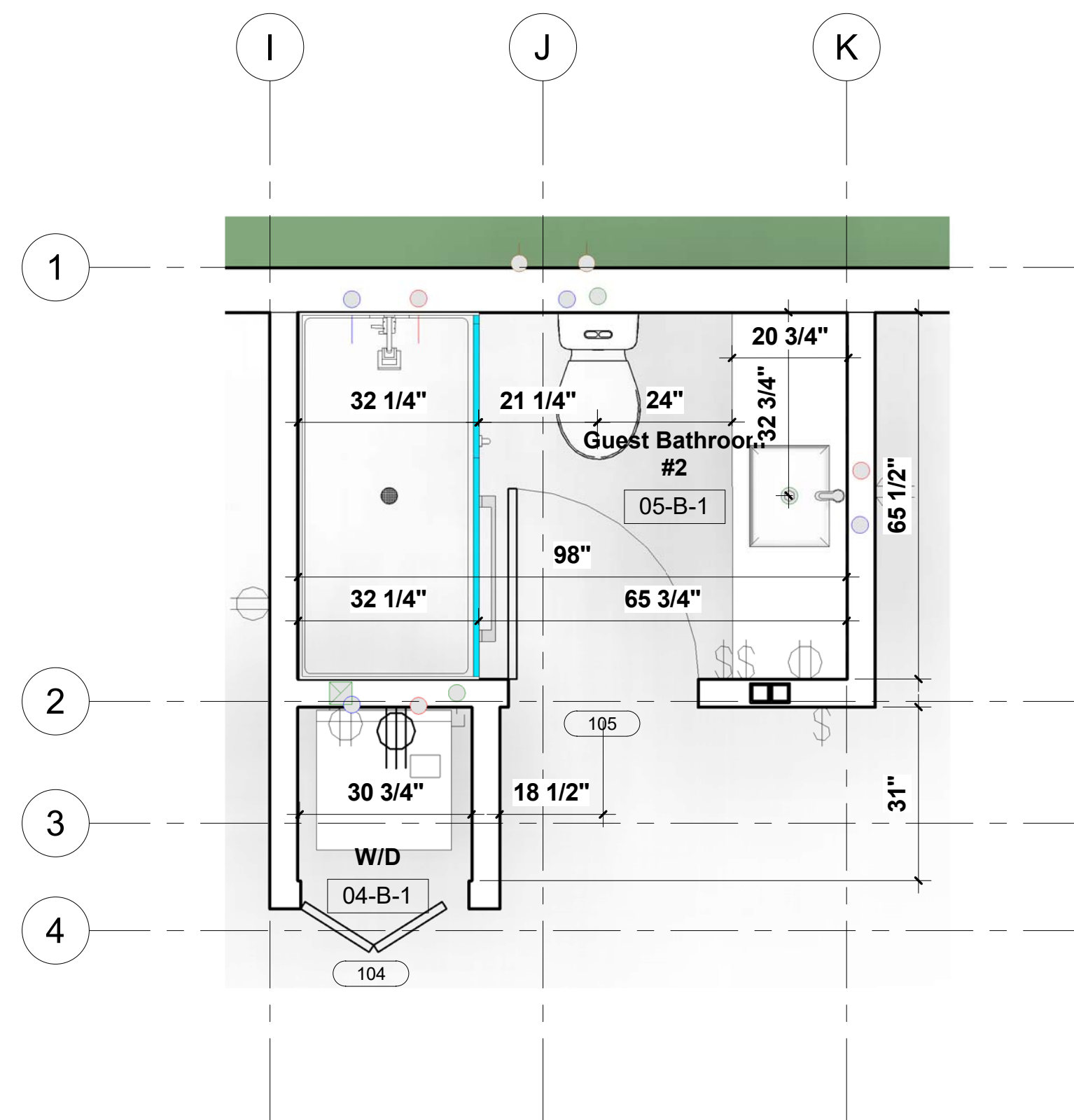
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 ##### BEACH, FL #####

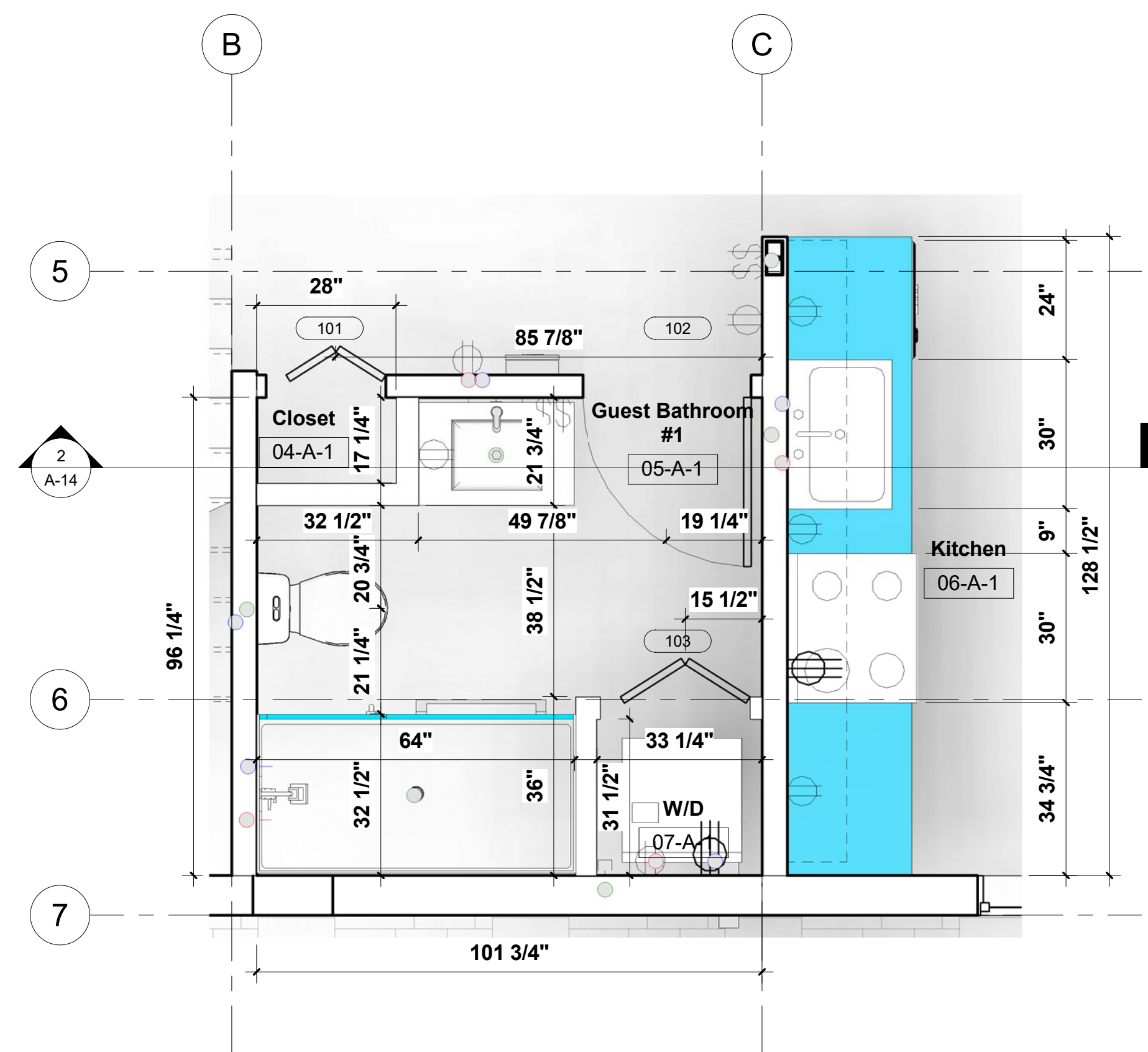
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 ##### BEACH INC.
 DUPLEX DEVELOPMENT

ROOF PLAN

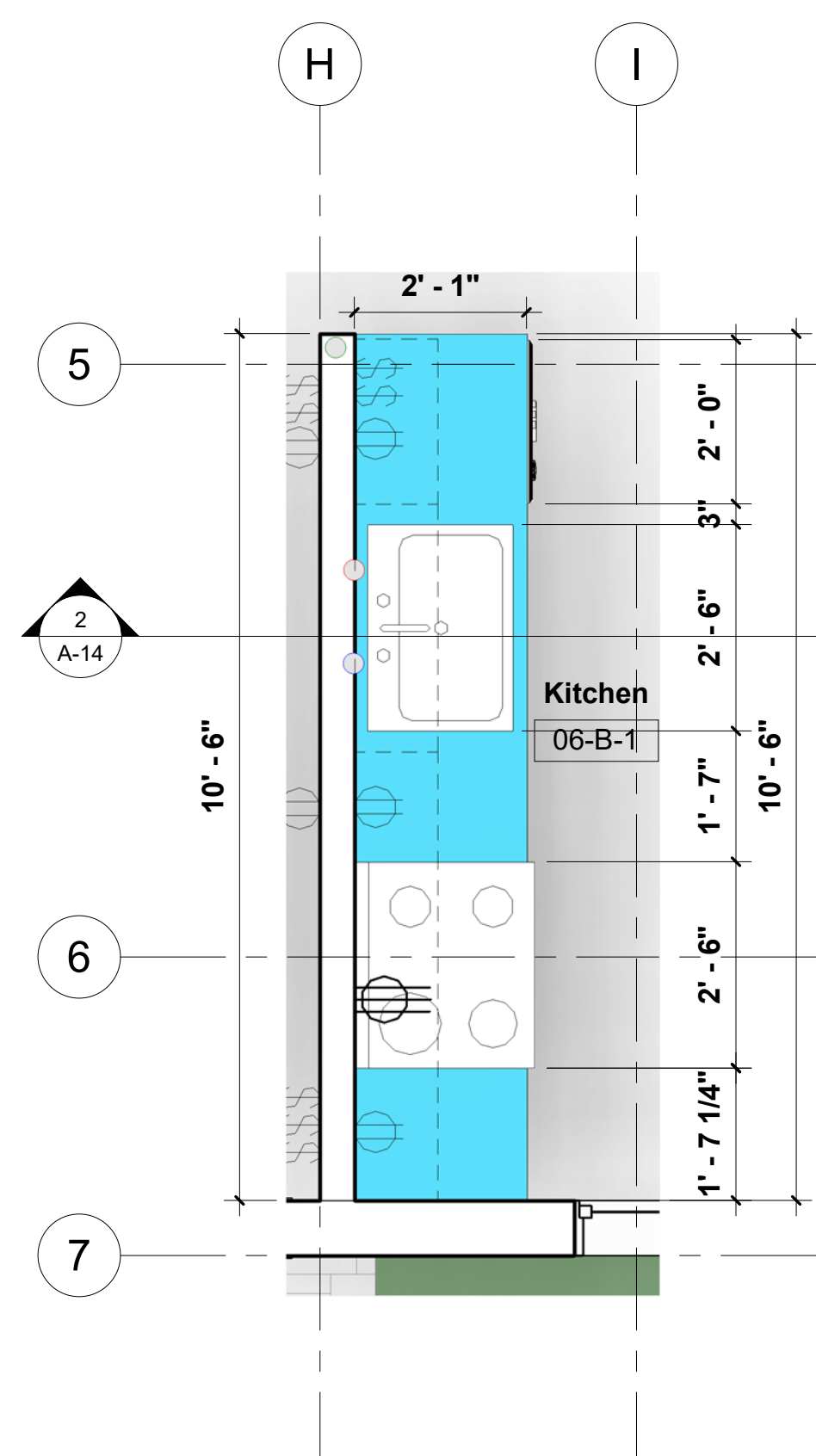
09/06/2022 Scale 1/4" = 1'-0"



② UNIT 2 - LEVEL 1 - CALLOUT 1
1/2" = 1'-0"



① UNIT 1 - LEVEL 1 - CALLOUT 1
1/2" = 1'-0"



③ UNIT 2 - LEVEL 1 - CALLOUT 2
1/2" = 1'-0"

REV	DATE	DESCRIPTION

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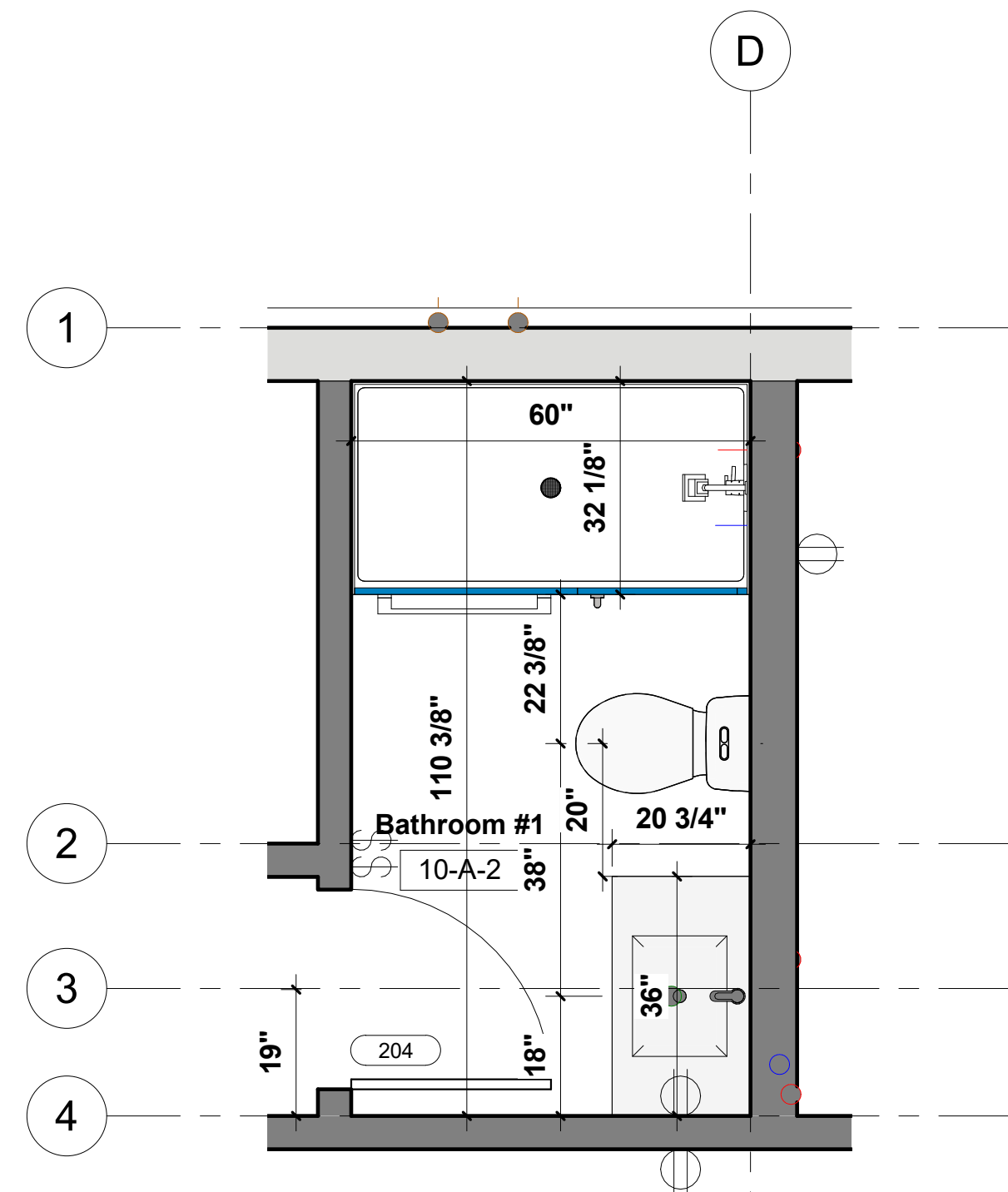
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BEACH, FL

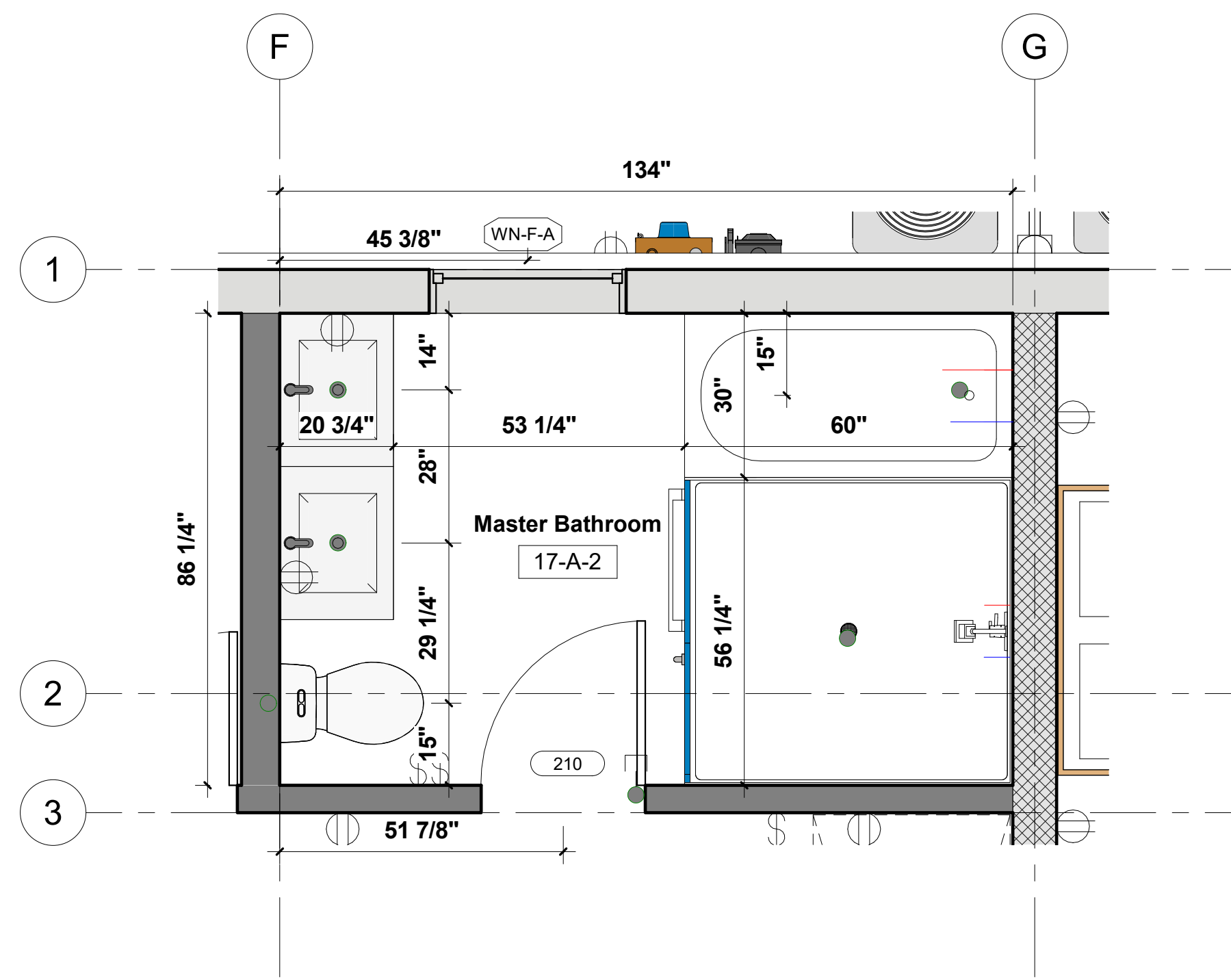
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BEACH INC.
DUPLEX DEVELOPMENT

**LEVEL 1 -
BATHROOMS &
KITCHEN DETAILS**

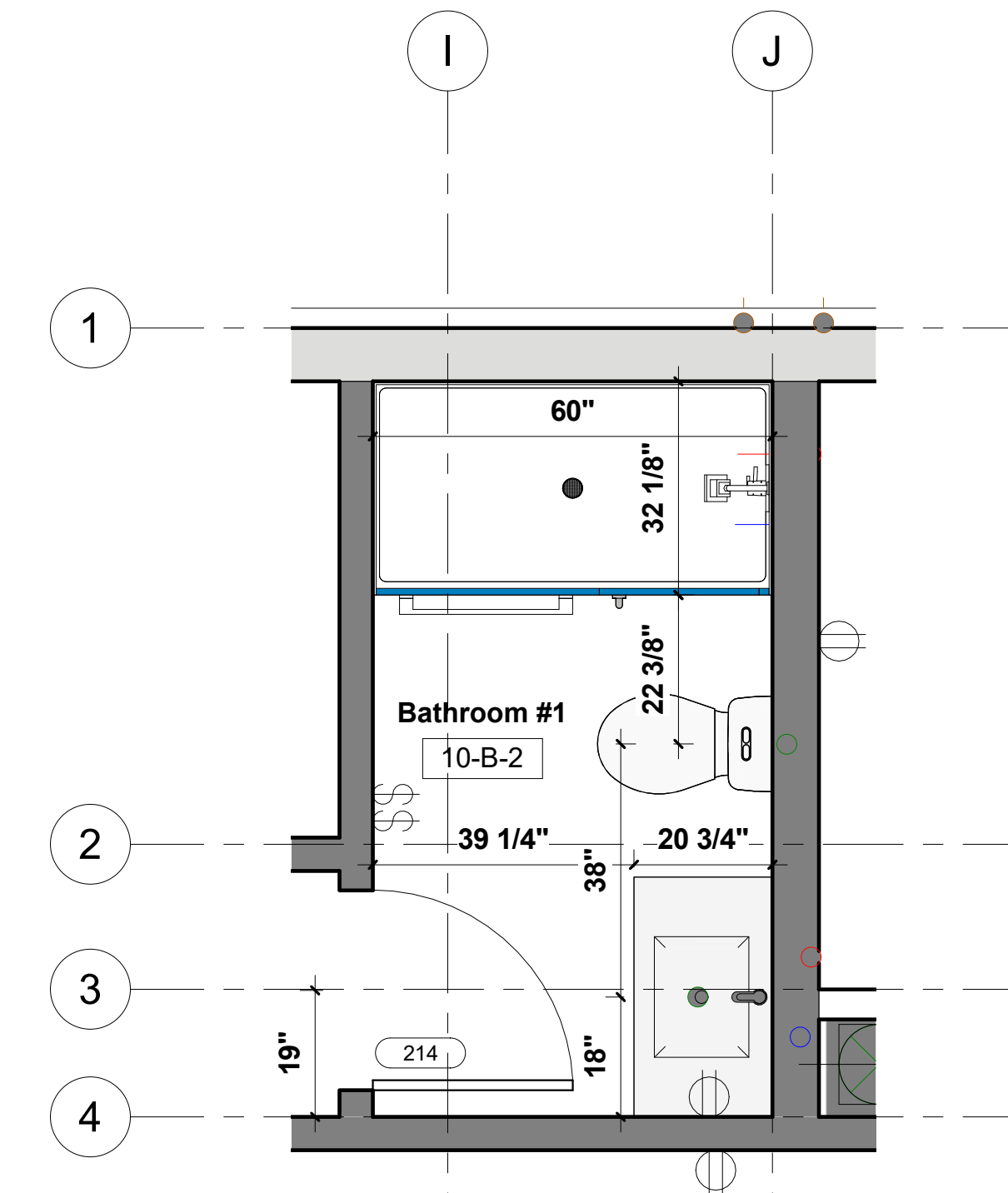
09/06/2022 Scale 1/2" = 1'-0"



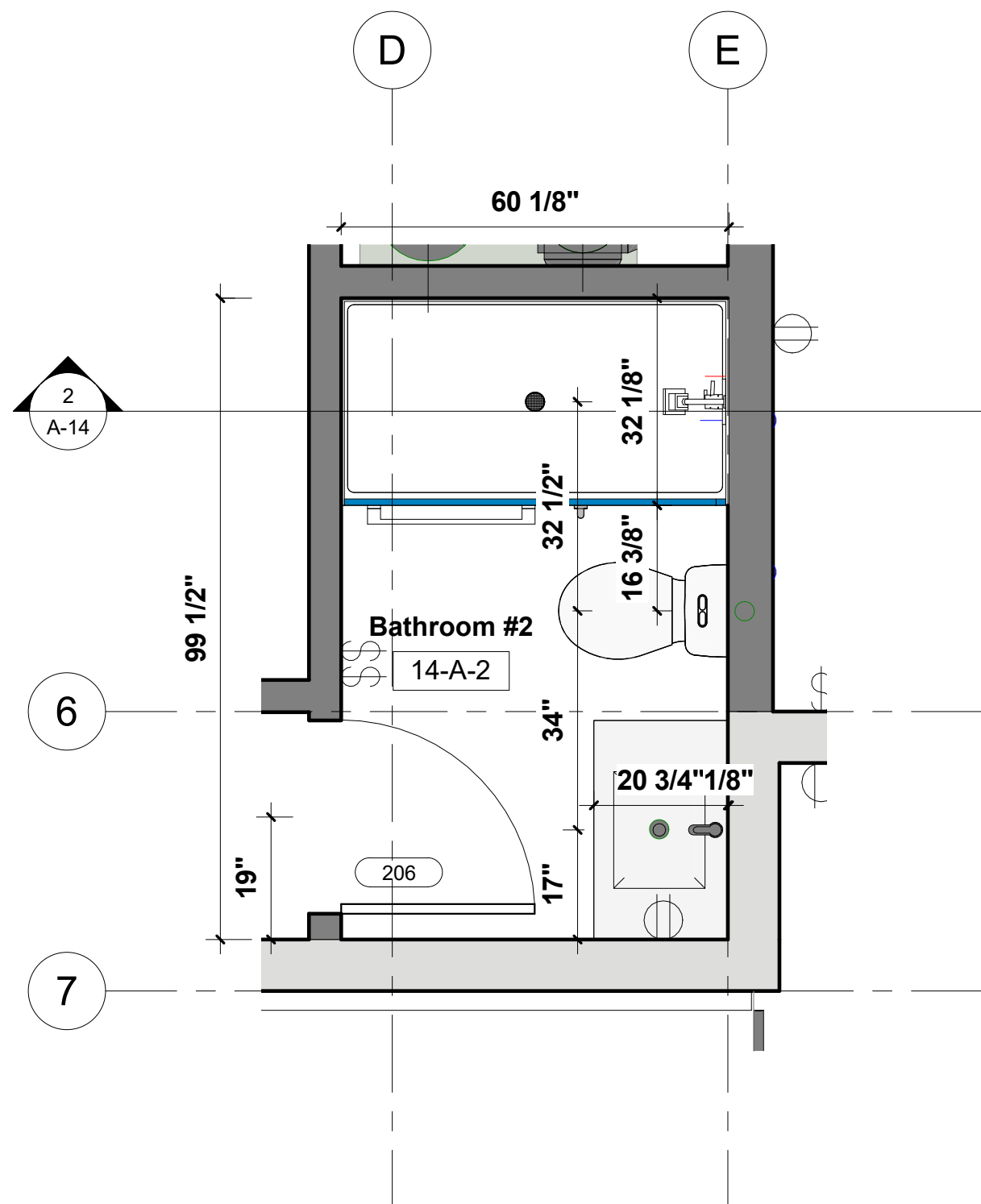
1 UNIT 1 - LEVEL 2 - CALLOUT 2
1/2" = 1'-0"



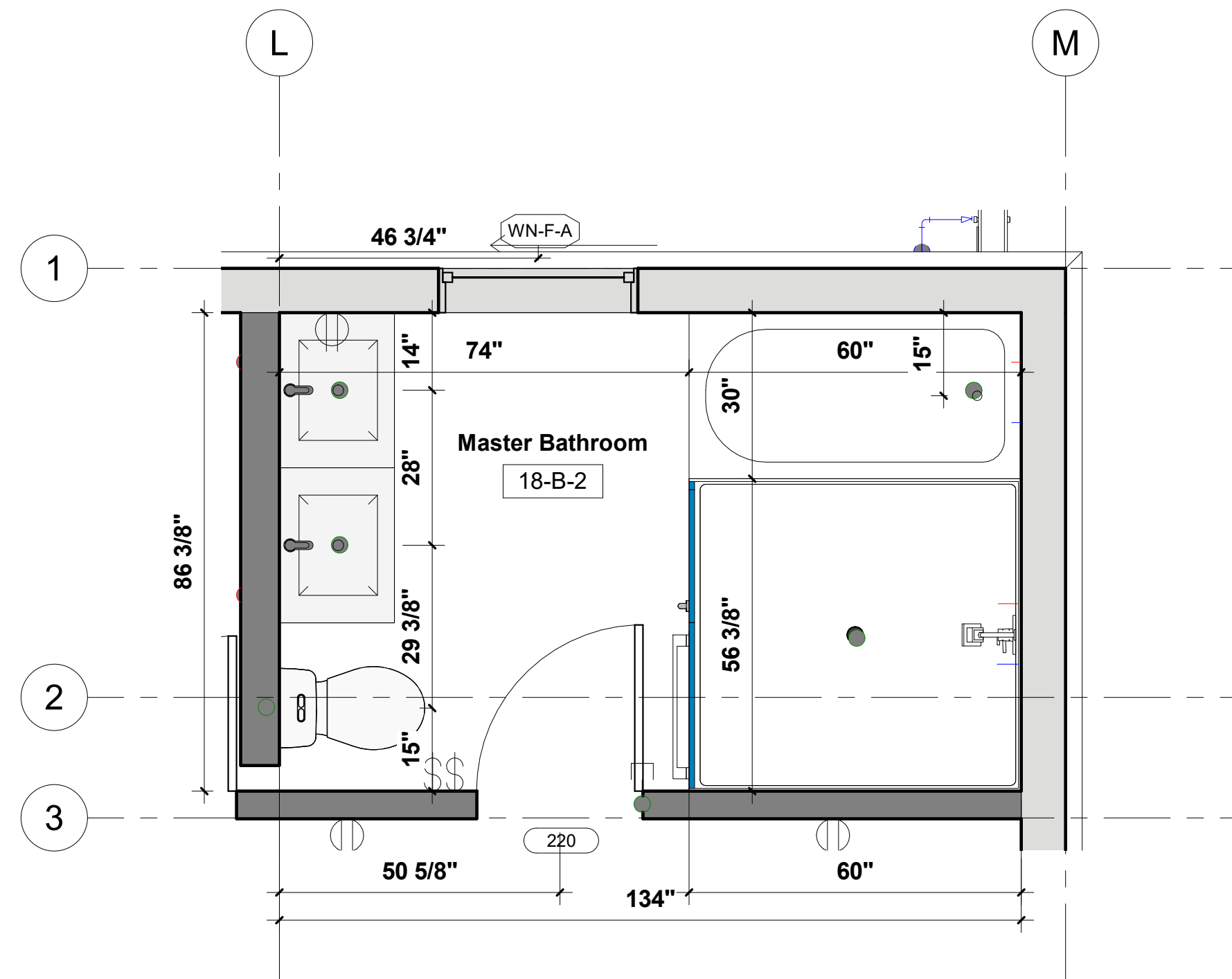
2 UNIT 1 - LEVEL 2 - CALLOUT 3
1/2" = 1'-0"



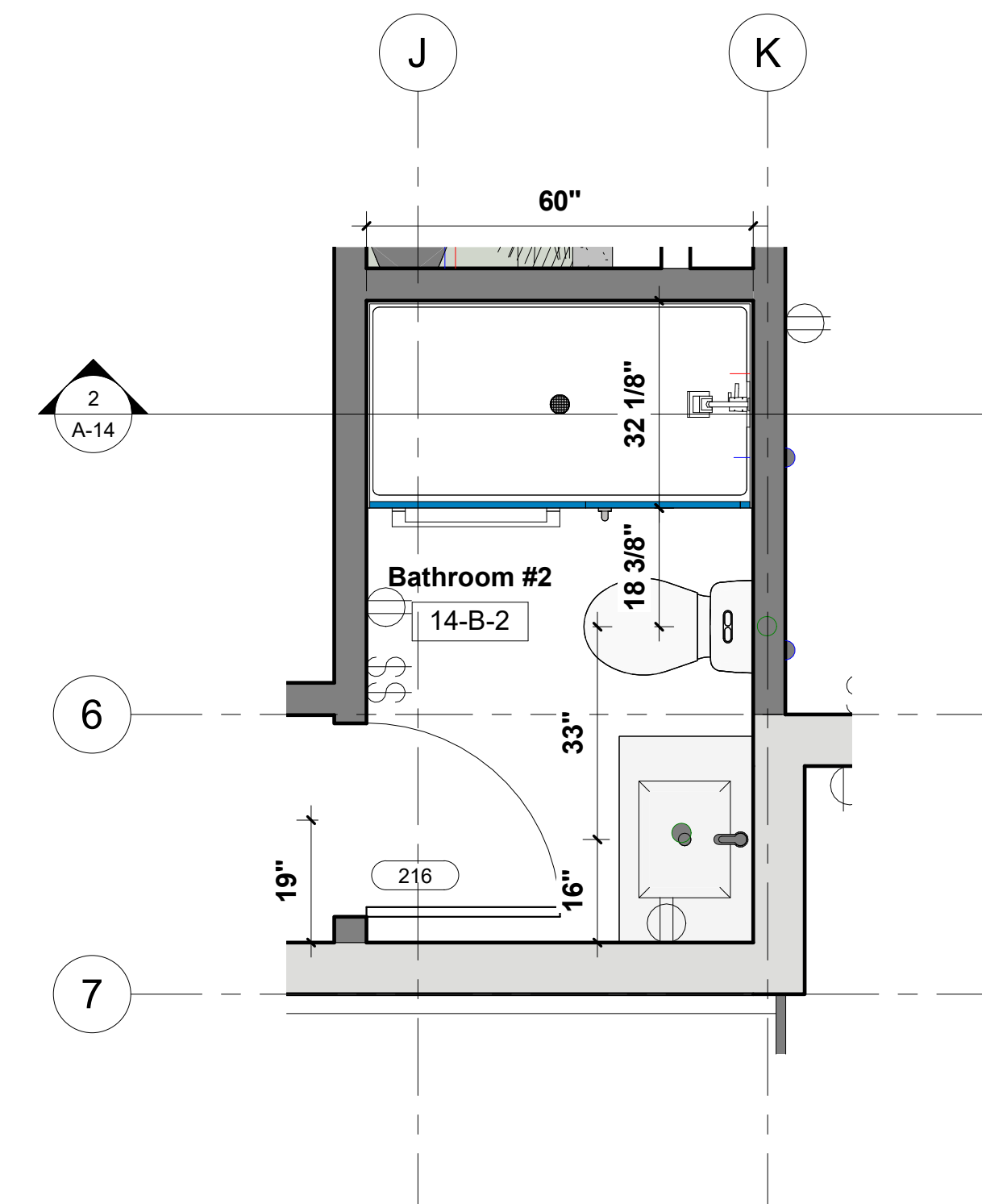
4 UNIT 2 - LEVEL 2 - CALLOUT 3
1/2" = 1'-0"



3 UNIT 1 - LEVEL 2 - CALLOUT 4
1/2" = 1'-0"



5 UNIT 2 - LEVEL 2 - CALLOUT 4
1/2" = 1'-0"



6 UNIT 2 - LEVEL 2 - CALLOUT 5
1/2" = 1'-0"

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BEACH, FL

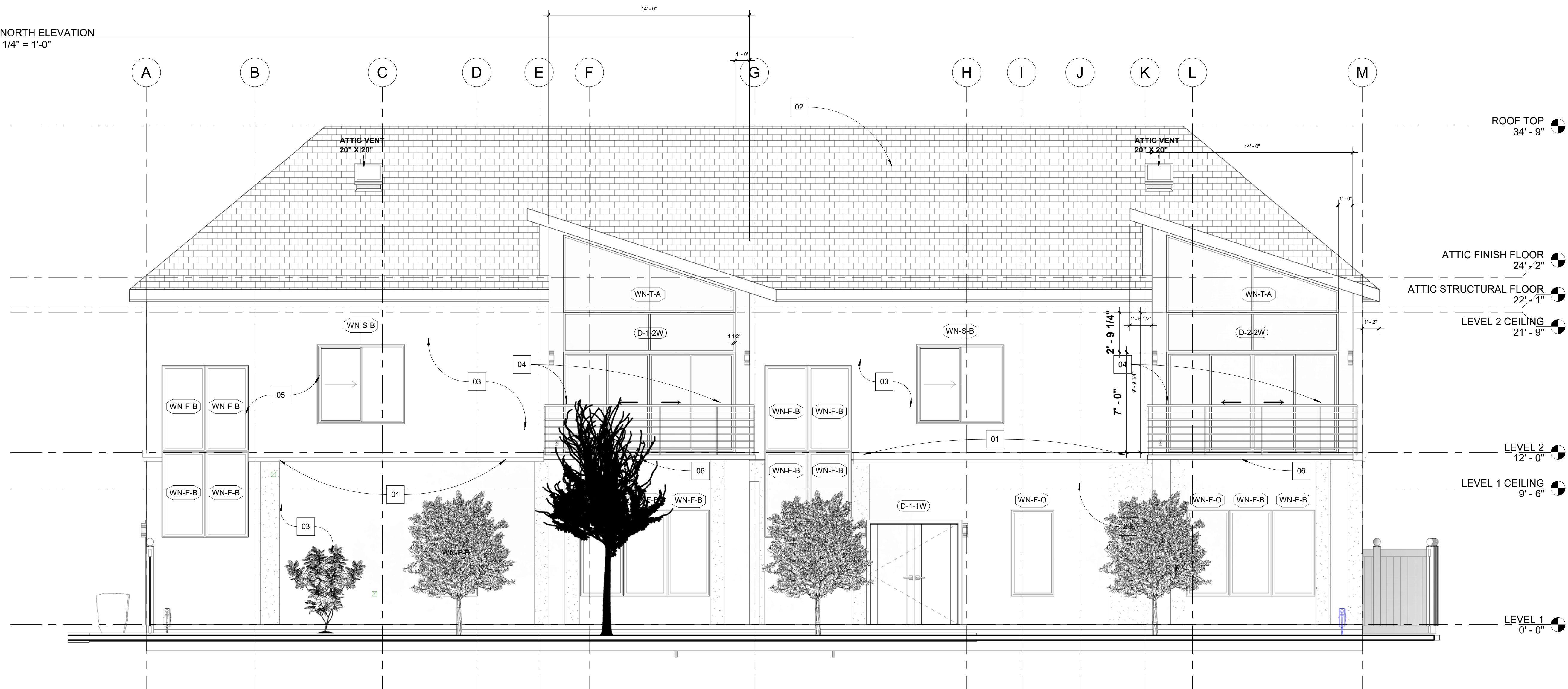
OWNER: ### SW #TH ST
BEACH INC.
DUPLEX DEVELOPMENT

**LEVEL 2 -
BATHROOM
DETAILS**

09/06/2022 Scale 1/2" = 1'-0"



1 NORTH ELEVATION
1/4" = 1'-0"



2 WEST ELEVATION
1/4" = 1'-0"

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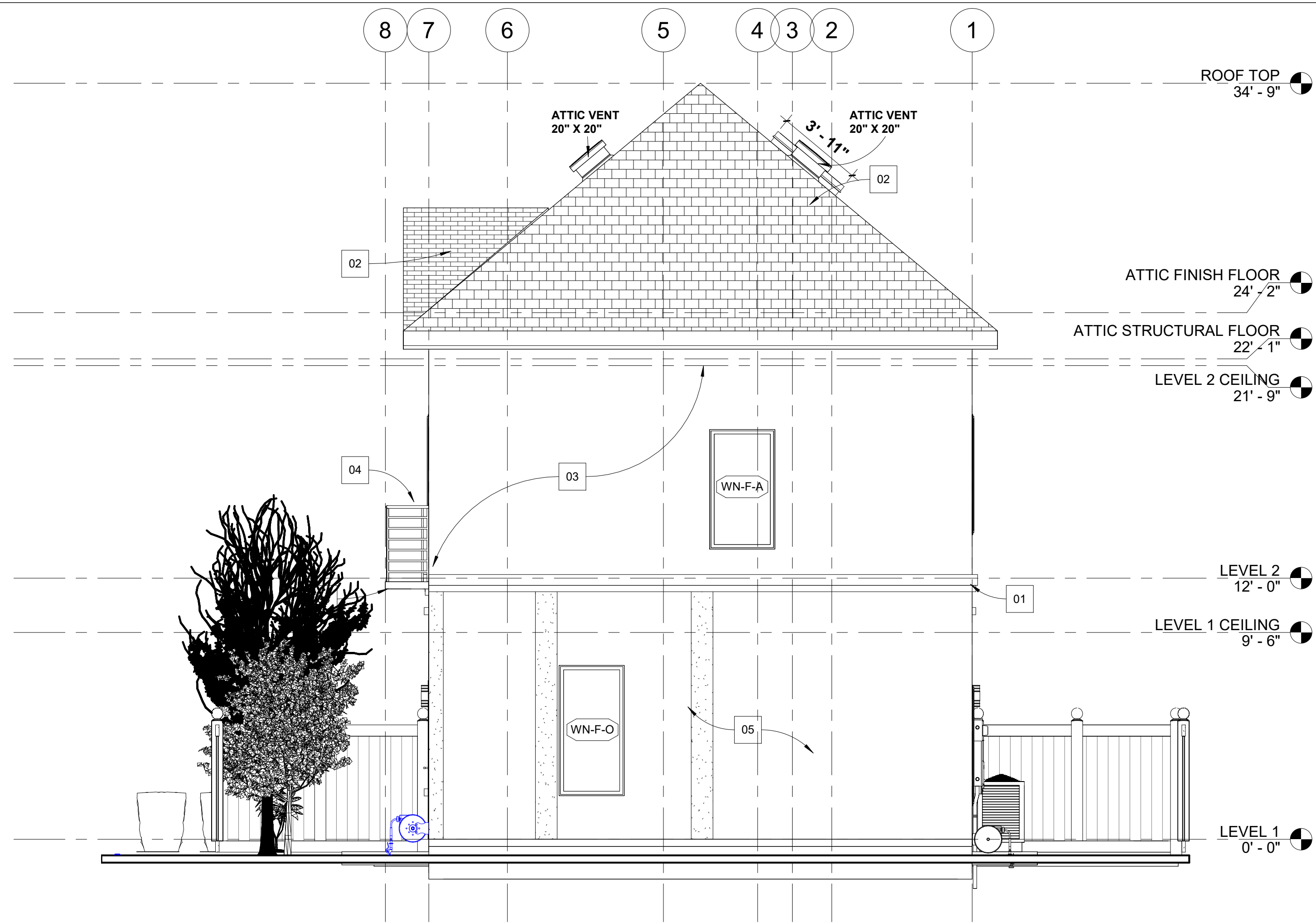
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OWNER: ### SW ##TH ST
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DUPLEX DEVELOPMENT

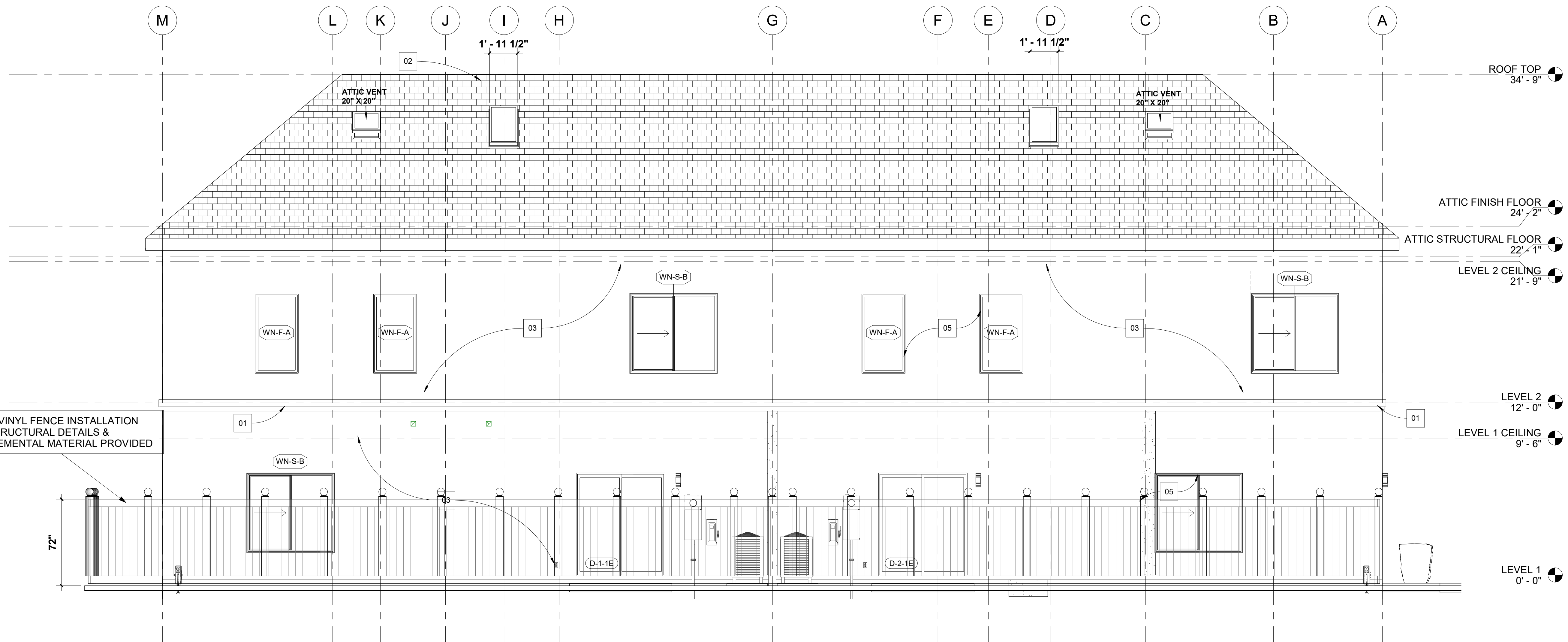
NORTH AND WEST ELEVATIONS

09/06/2022 Scale 1/4" = 1'-0"

A-11



1 SOUTH ELEVATION
1/4" = 1'-0"



2 EAST ELEVATION
1/4" = 1'-0"

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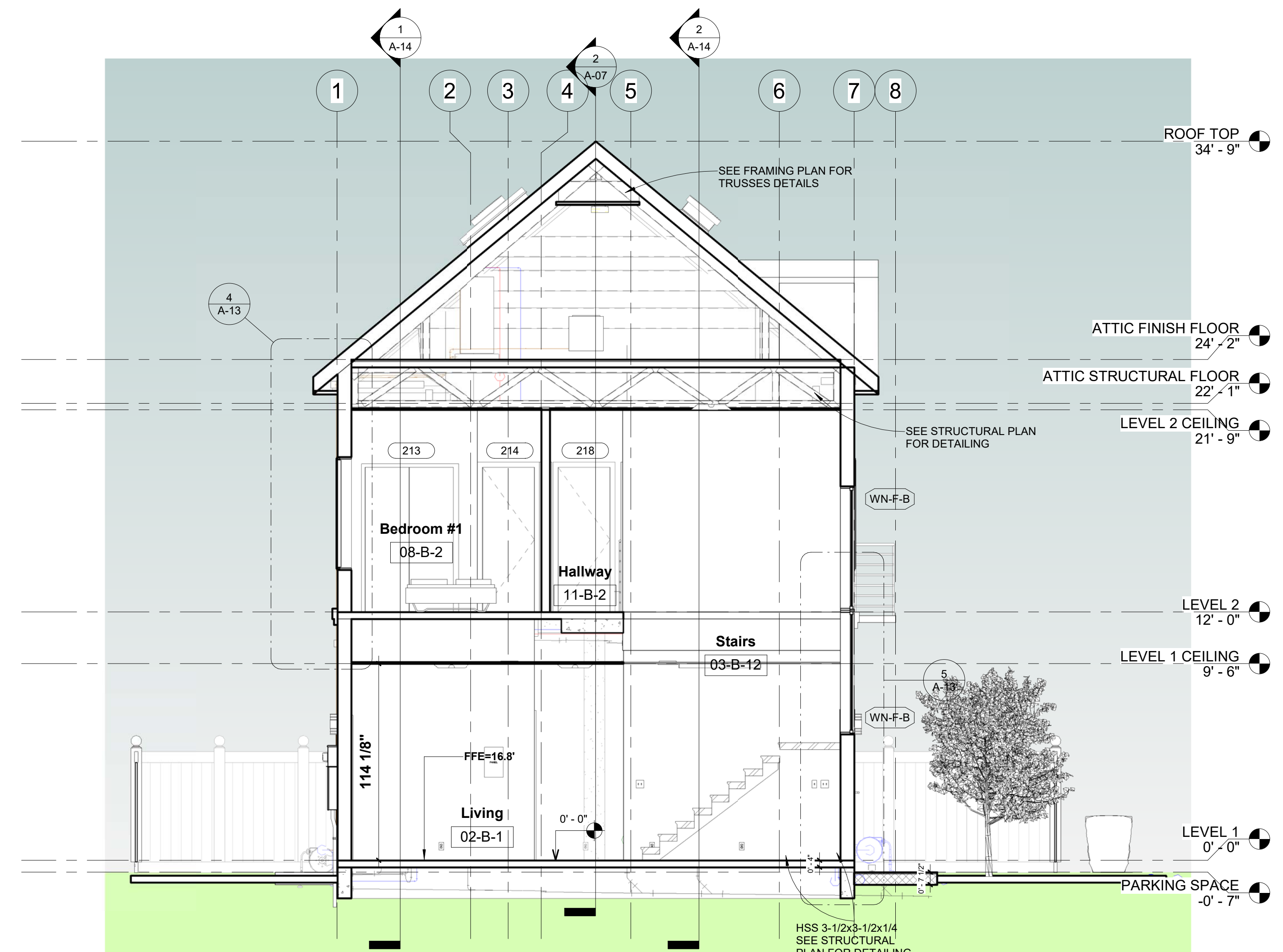
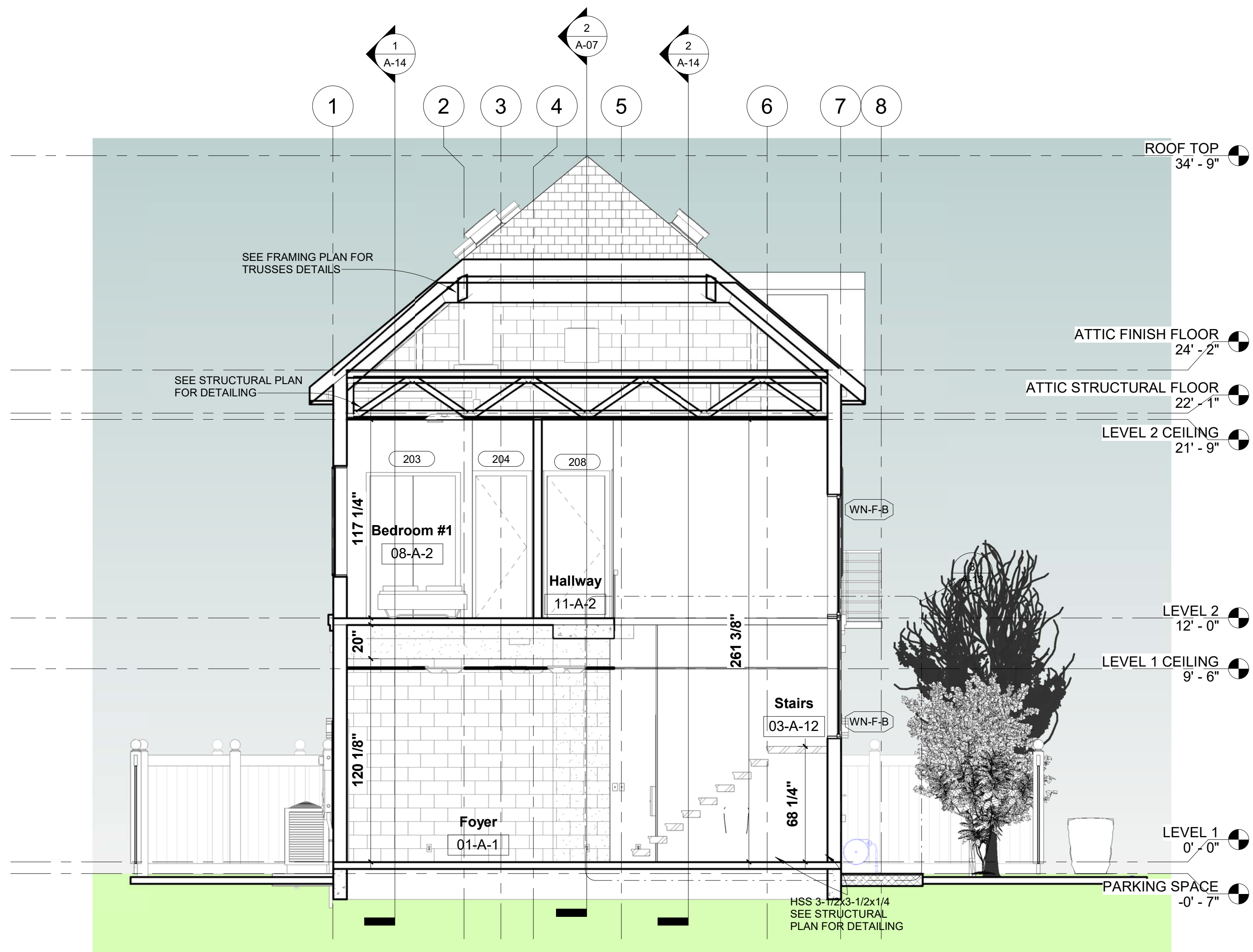
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OWNER: ### SW ##TH ST
BEACH INC.
DUPLEX DEVELOPMENT

SOUTH AND EAST ELEVATIONS

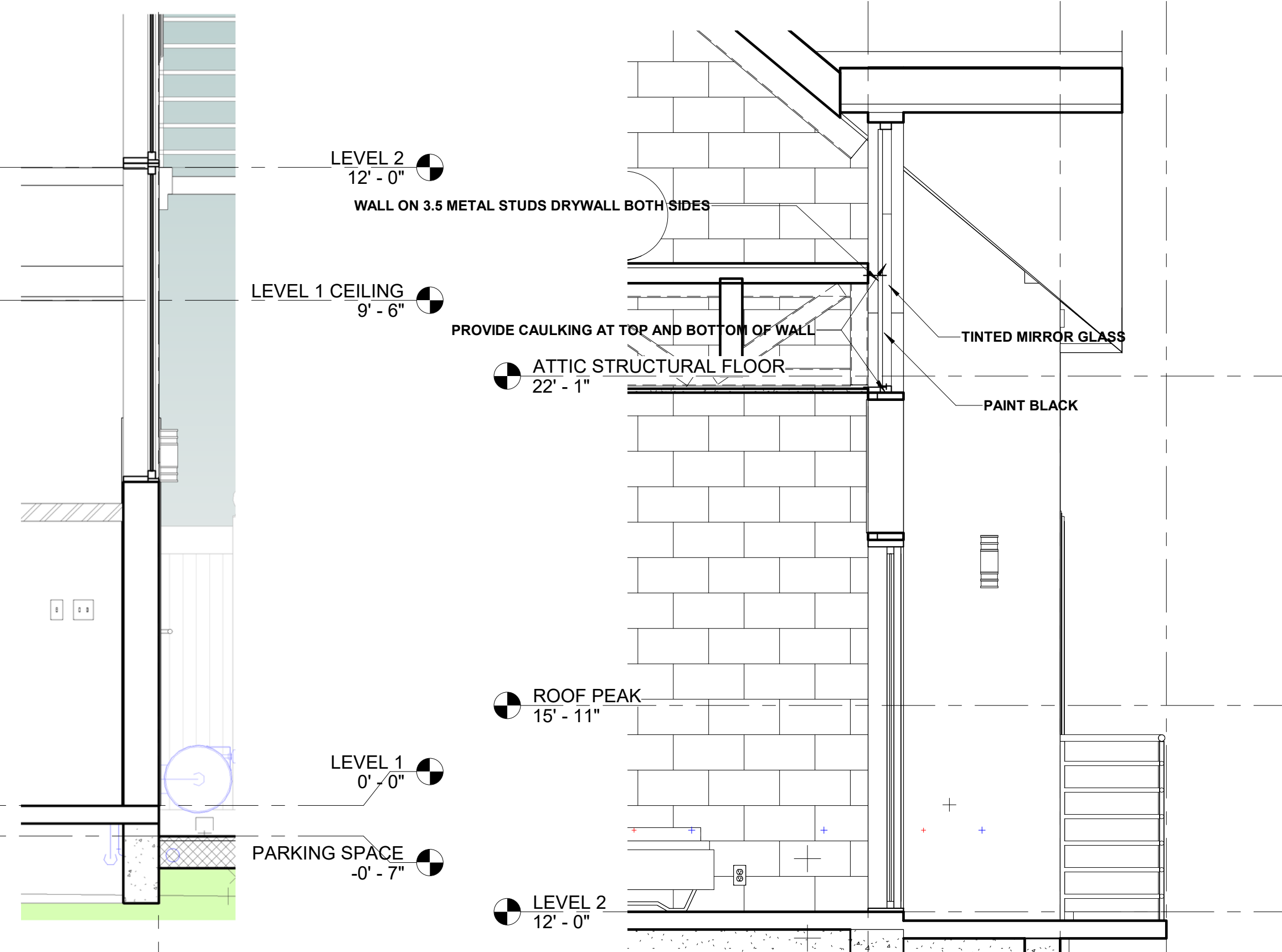
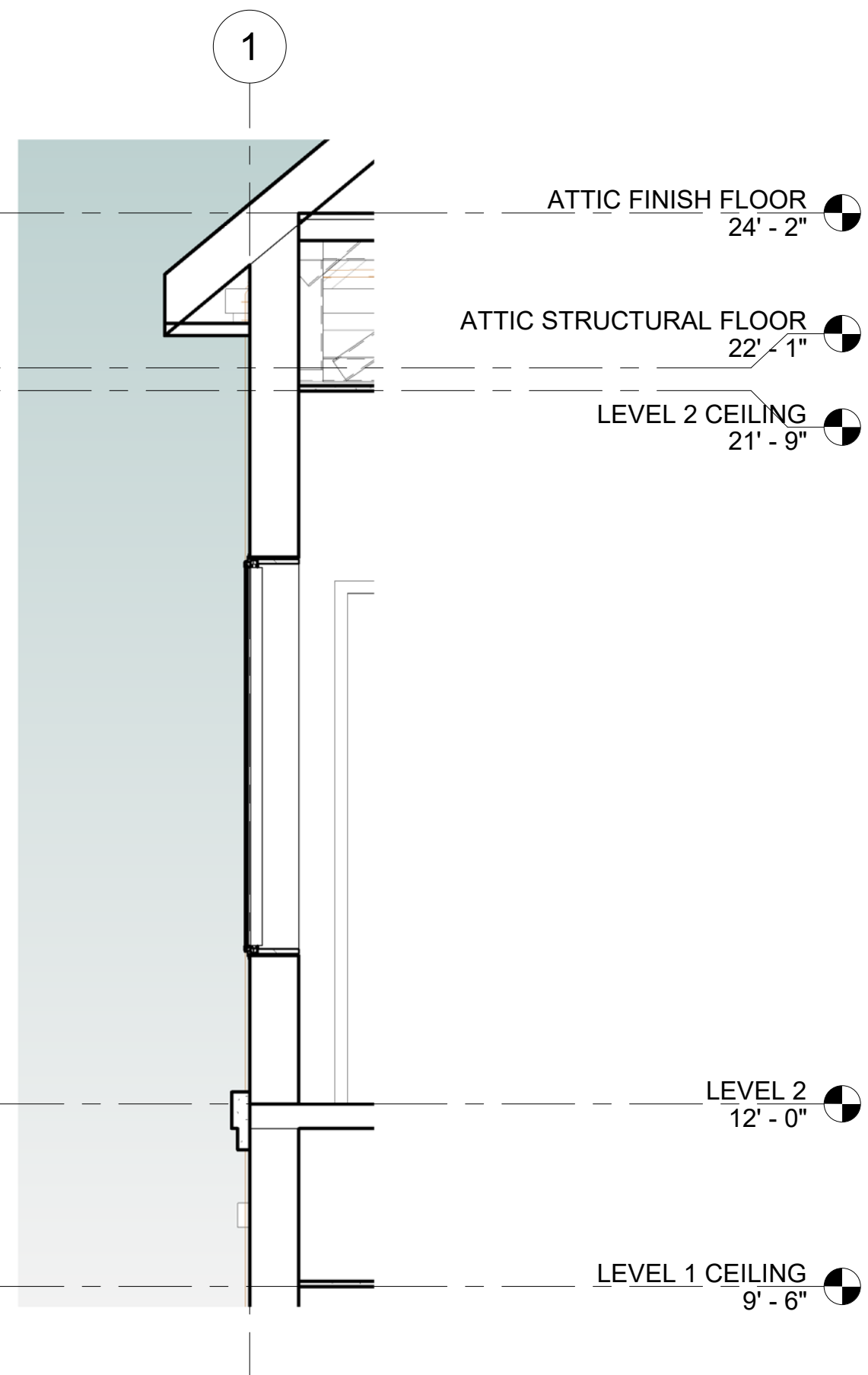
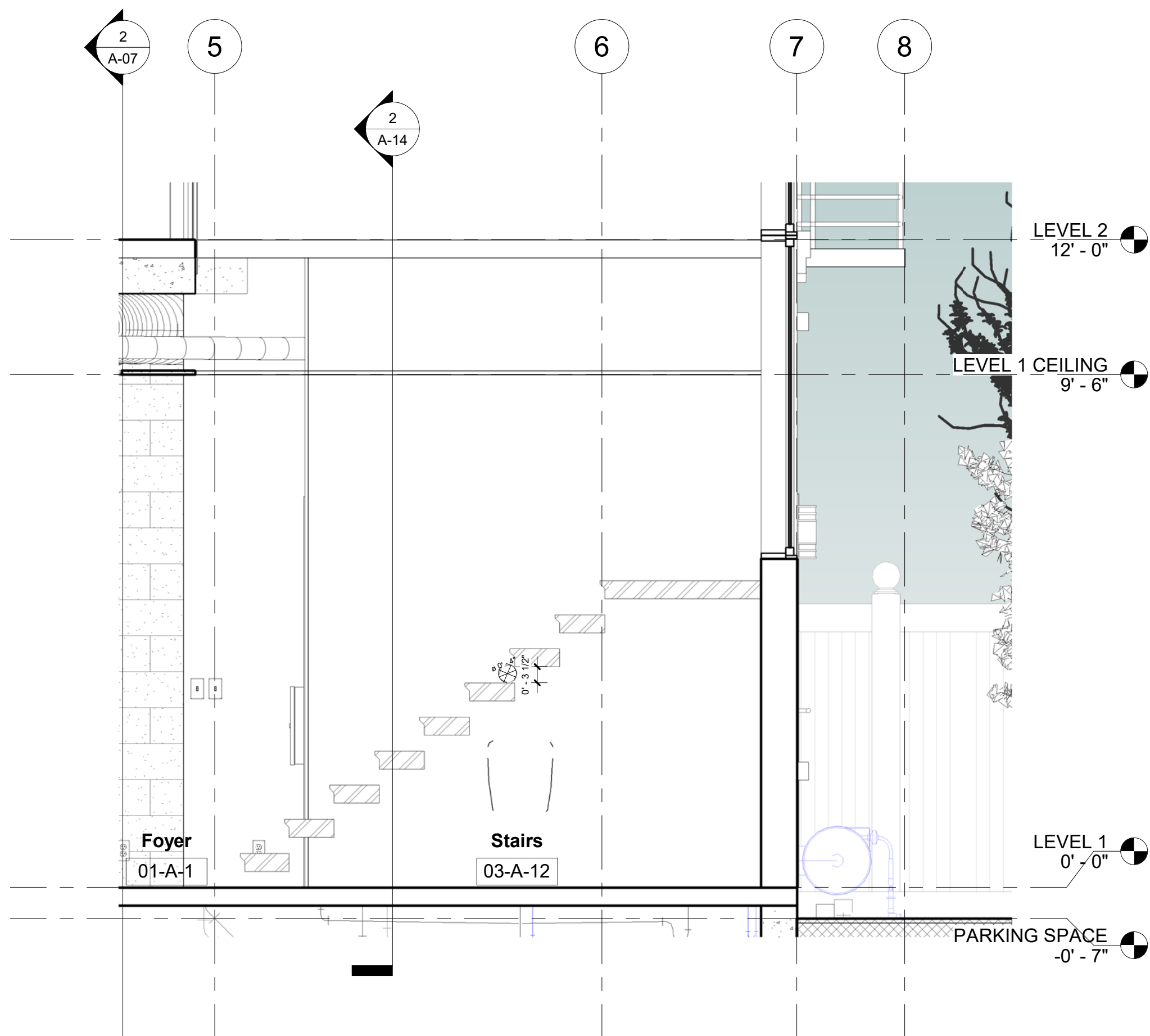
09/06/2022 Scale 1/4" = 1'-0"

A-12



1 A
1/4" = 1'-0"

7 2 B
1/4" = 1'-0"



3 A - Callout 1
1/2" = 1'-0"

4 B - Callout 1
1/2" = 1'-0"

5 B - Callout 2
1/2" = 1'-0"

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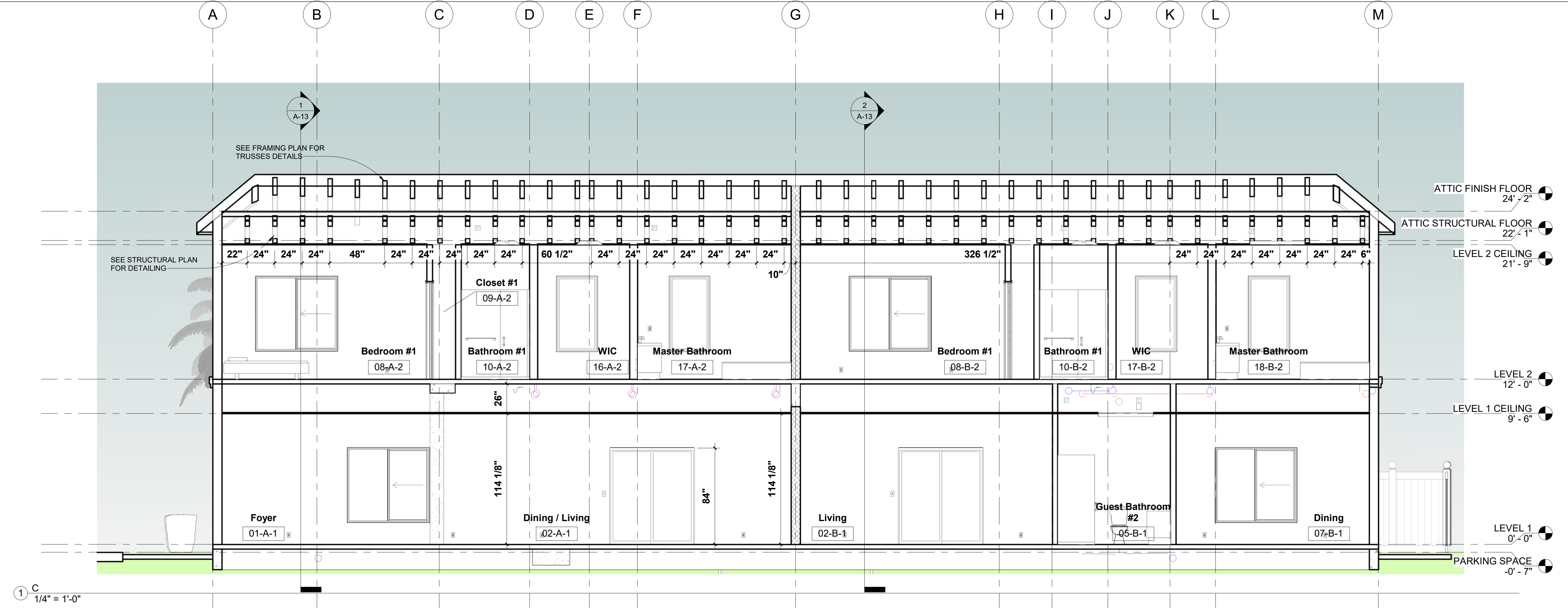
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DUPLEX DEVELOPMENT

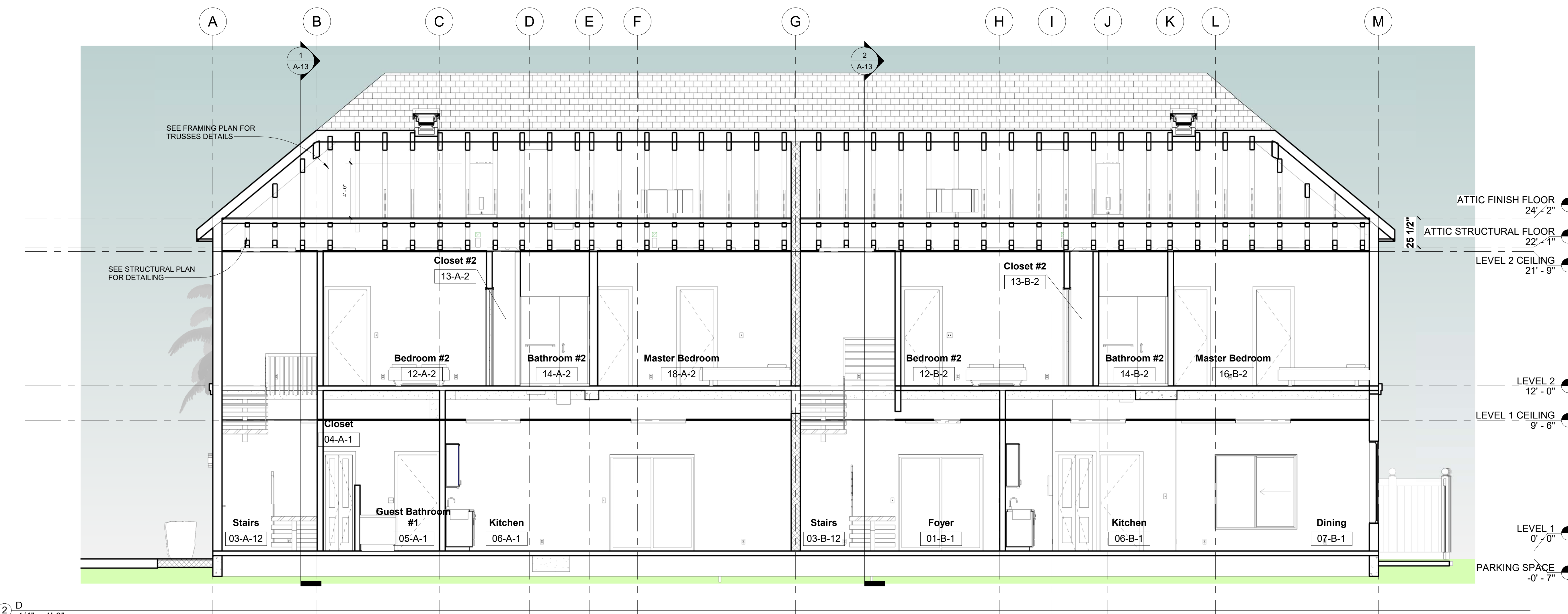
SECTIONS A AND B

09/06/2022 Scale As Indicated

A-13



① C
1/4" = 1'-0"



② D
1/4" = 1'-0"

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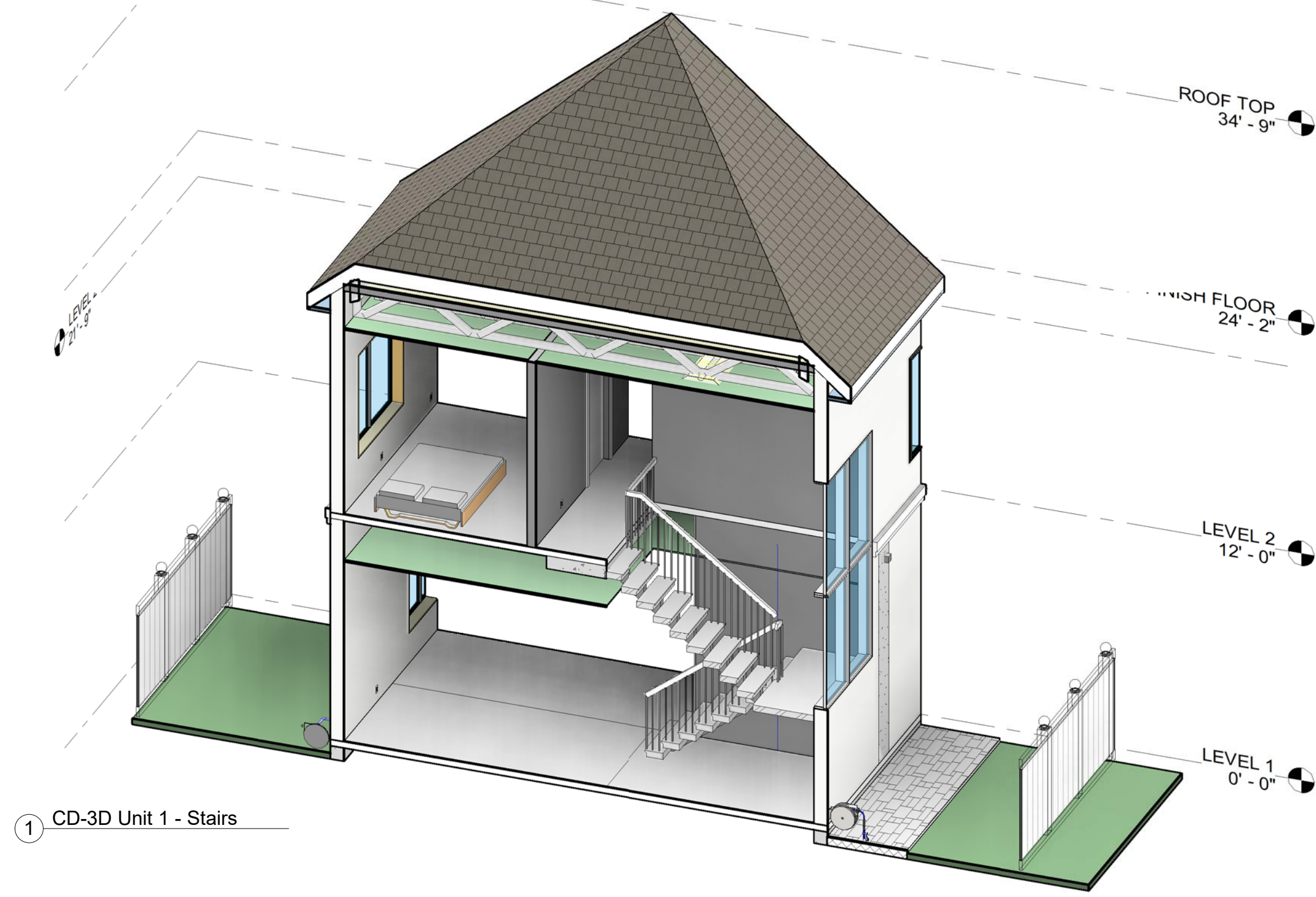
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BEACH INC.
DUPLEX DEVELOPMENT

SECTIONS C AND D

09/06/2022 Scale 1/4" = 1'-0"

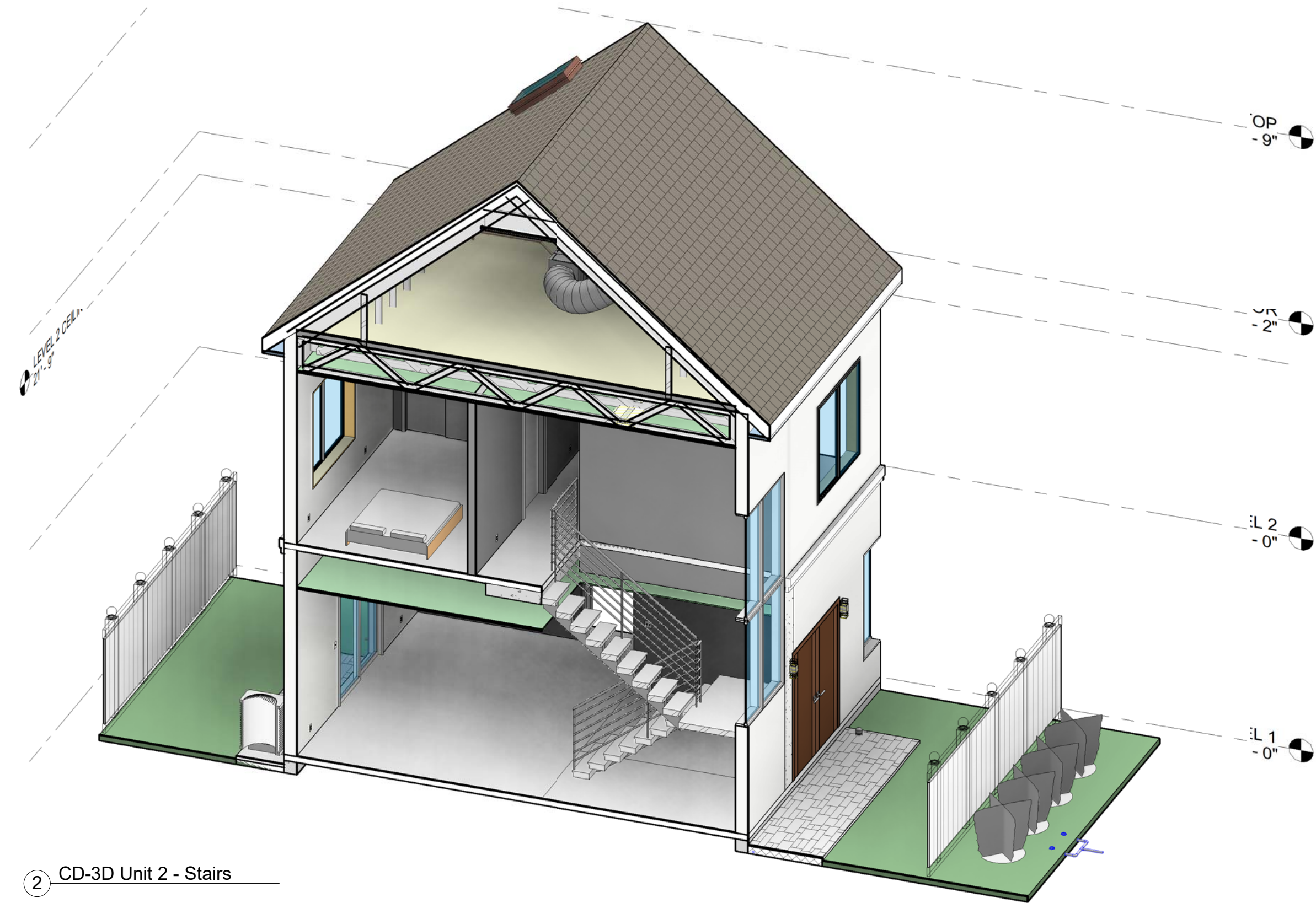
A-14



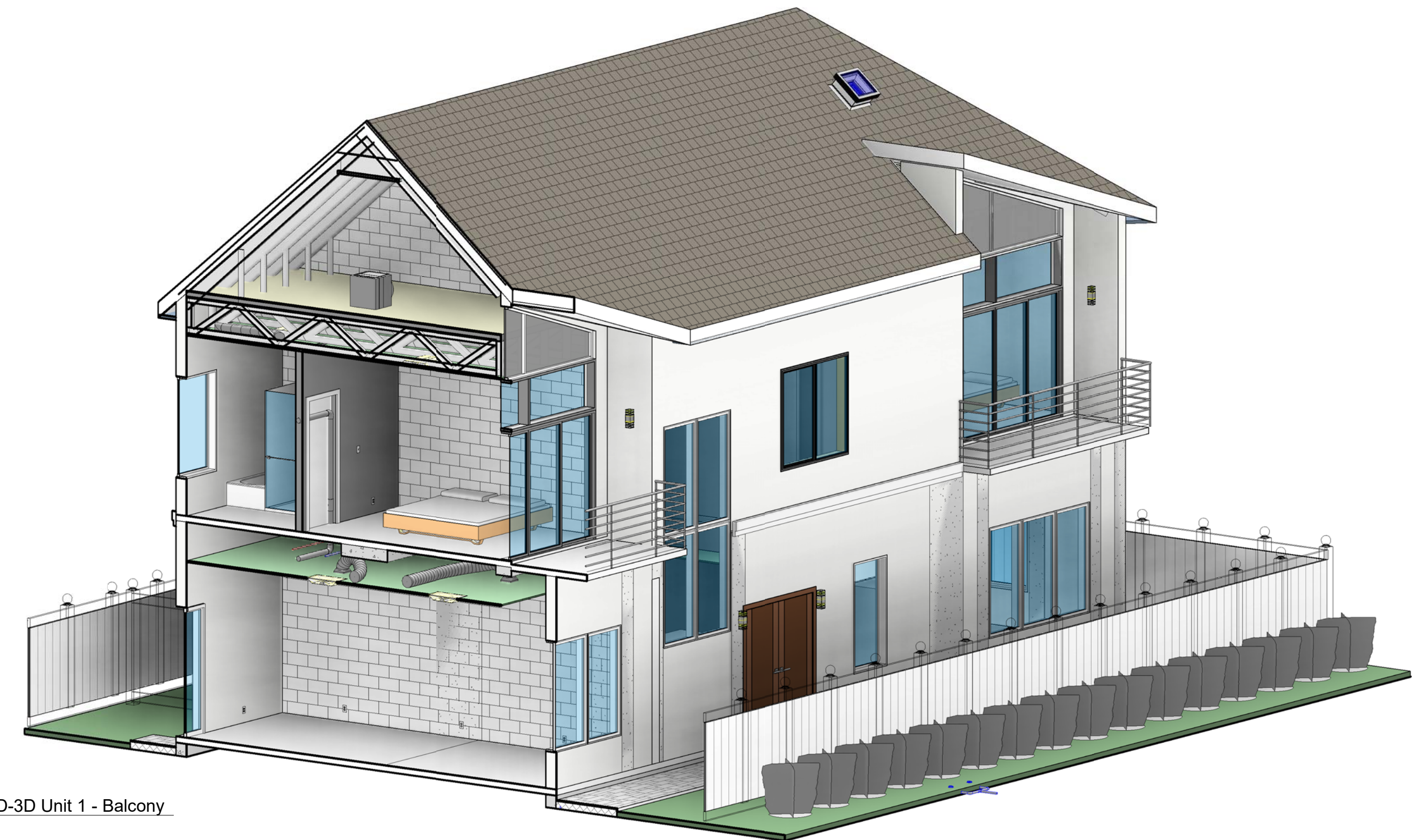
1 CD-3D Unit 1 - Stairs



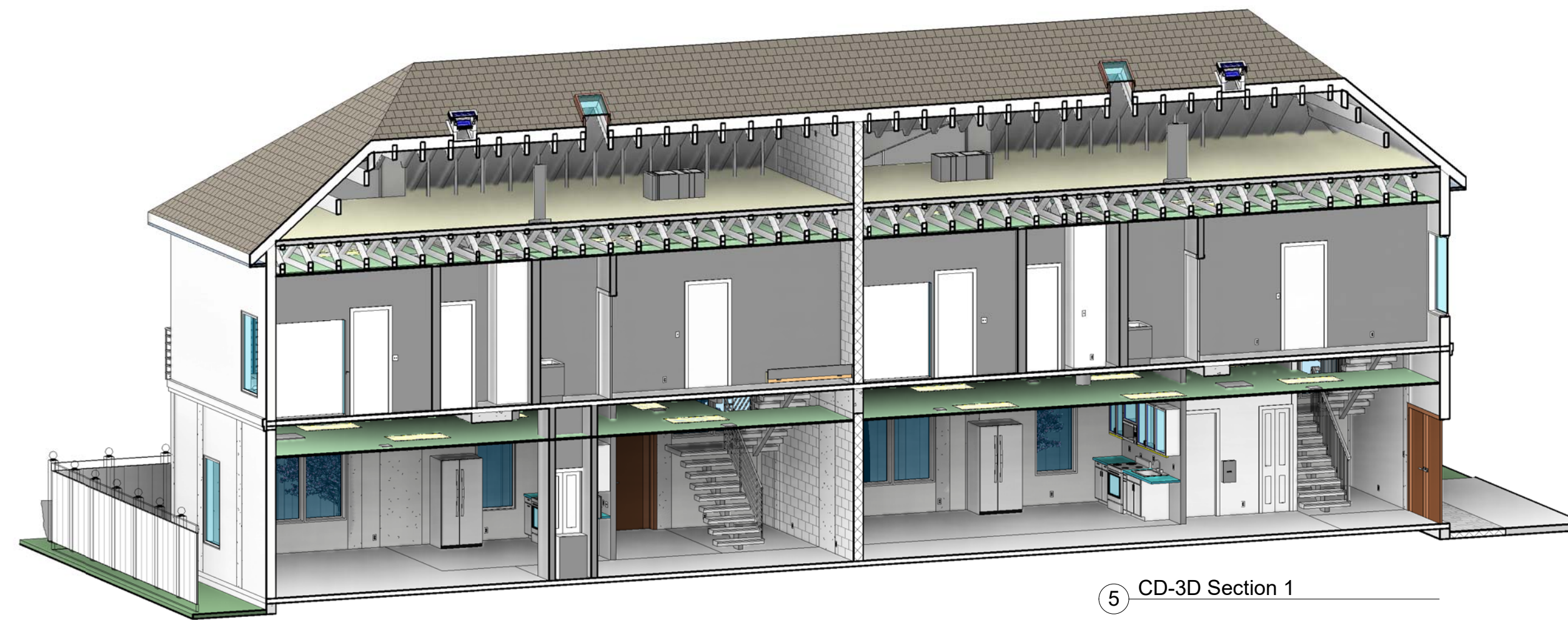
4 CD-3D Unit 2 - Balcony



2 CD-3D Unit 2 - Stairs



3 CD-3D Unit 1 - Balcony



5 CD-3D Section 1

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 DUPLEX DEVELOPMENT

3D SECTIONS

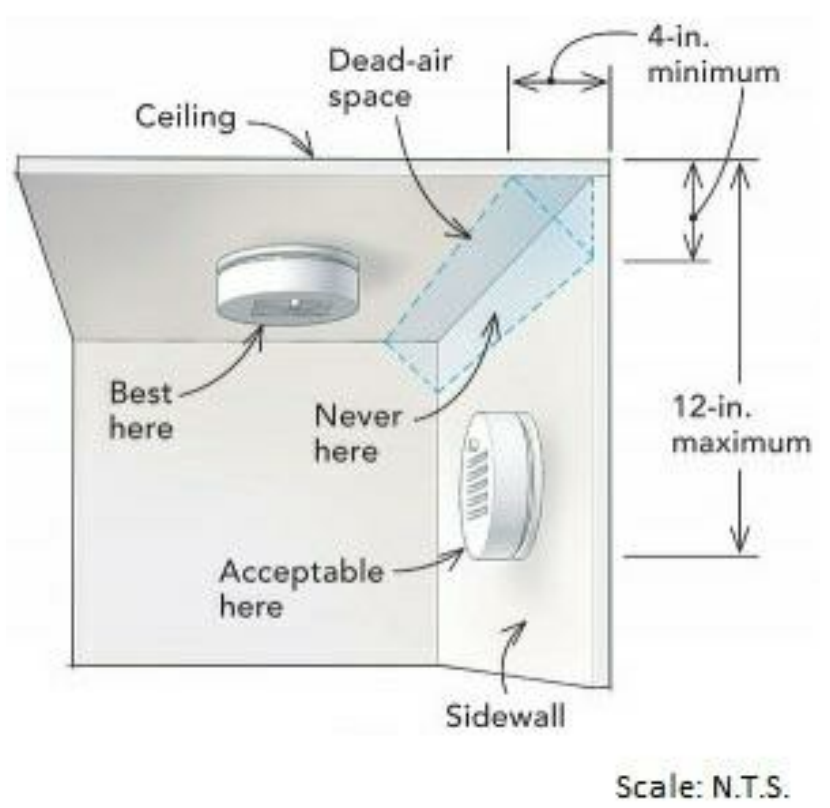
09/06/2022 Scale

- SCOPE OF WORK:**
1. NEW 200 AMP ELECTRICAL PANEL "B" INSTALLATION IN UNIT 1.
 2. NEW 200 AMP ELECTRICAL PANEL "A" INSTALLATION IN UNIT 2.
 3. LIGHT FIXTURES INSTALLATION THROUGHOUT IN BOTH UNITS, AS SHOWN.
 4. ELECTRICAL OUTLETS INSTALLATION IN THROUGHOUT IN BOTH UNITS, AS SHOWN.
 5. INSTALLATION OF NEW APPLIANCES IN BOTH UNITS, AS SHOWN.

- NOTES:**
1. RECEPTACLES SPECIFIED IN NEC 210.8, 15 OR 20 AMPS SHALL HAVE GFCI PROTECTION.
 2. ALL 120 SINGLE PHASE 15 OR 20 AMPS BRANCH CIRCUITS SPECIFIED IN NEC 210.12 (B) SHALL BE PROTECTED BY AFCI BREAKERS
 3. ALL RECEPTACLES SPECIFIED IN NEC 210.52, 120 V 15 OR 20 AMPS, SHALL BE LISTED TAMPER-RESISTANT RECEPTACLES (NEC 406.11)

NOTE:
 Building Code: FBC 2020 7th
 Occupancy Type: R-3
 Type of Construction: III
 Classification of Work:
 New construction

SMOKE DETECTOR INSTALLATION DETAILS



SMOKE DETECTOR NOTES:

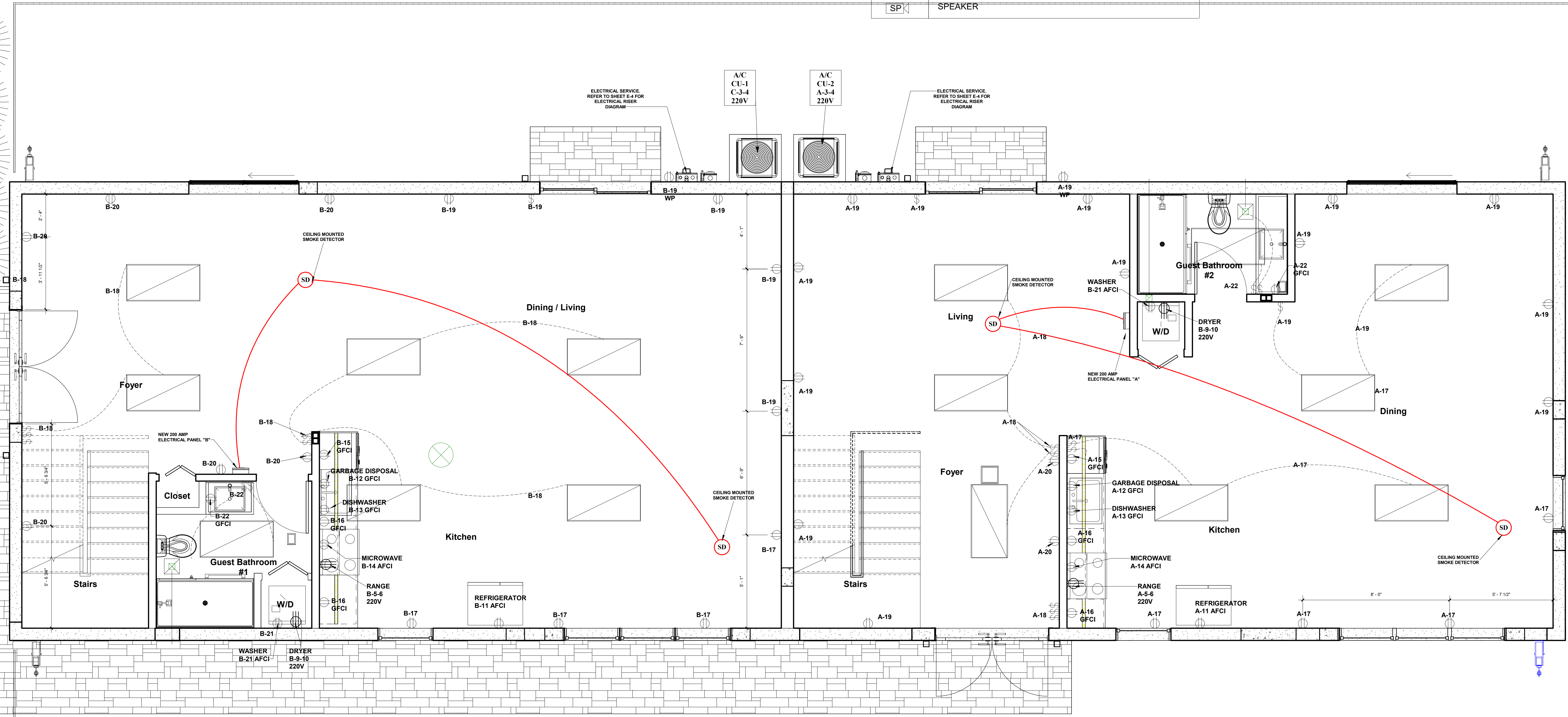
1. Smoke Detector wiring shall be made in a way, if one is activated, all remaining are activated.
2. All Smoke Detectors shall be AFCI.
3. For the ceiling mount, the Smoke Detector should be placed as close to center of the ceiling as possible.
4. Smoke Detector should be placed at least 4" from any corner wall junction.
5. Smoke Detector should NOT be placed:
 - a) Closer than 3 feet from an air supply diffuser or an air vent
 - b) Closer than 1 foot from fluorescent light fixture.
6. Smoke Detectors are required inside of all sleeping areas
7. Smoke Detectors to be interconnected, battery back up and 36" away from any vent or fan blade tip.

ELECTRICAL LEGEND

⊖	DUPLEX RECEPTACLE OUTLET
⊖ AF	DUPLEX RECEPTACLE OUTLET AFCI
⊖ GF	DUPLEX RECEPTACLE OUTLET GFCI
⊖ 220V	DUPLEX RECEPTACLE OUTLET 220V
⊖ @ FLOOR	DUPLEX RECEPTACLE OUTLET @ FLOOR
⊖	ELECTRICAL PANEL
⊖	TELEPHONE & DATA OUTLET
⊖	TELEVISION OUTLET
⊖	DISCONNECT SWITCH
⊖	GROUND-FAULT INTERRUPTER
⊖	CEILING LIGHTING FIXTURES
⊖	EXTERIOR WALL MOUNTED LIGHT
⊖	EXHAUST FAN
⊖	WALL MOUNTED SCONCE LIGHTS
⊖	NEW FLUORESCENT LIGHTING FIXTURE-SURFACE MTD.
⊖	SMOKE DETECTOR
⊖	SPEAKER

ELECTRICAL LEGEND

⊖	WALL SWITCH
WP	WATER PROOF
⊖	CLG FAN W/ LIGHT
⊖	EMERGENCY LIGHT
⊖	LED LIGHT LINEAR
⊖	ELECTRICAL SERVICE/METER
⊖	TANKLESS WATER HEATER 220V
⊖	THERMOSTAT
⊖	CEILING HEIGHT (IN INCHES)
⊖	ALARM CONTROL
⊖	DOOR NUMBER
⊖	CEILING SPRINKLER
⊖	WALL SPRINKLER
⊖	SWITCH ON CIRCUIT X
⊖	3-WAY SWITCH ON CIRCUIT X



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SW #TH STREET
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OWNER: ### SW #TH ST
 ##### BEACH INC.
 DUPLEX DEVELOPMENT

1ST FLOOR - ELECTRICAL PLAN

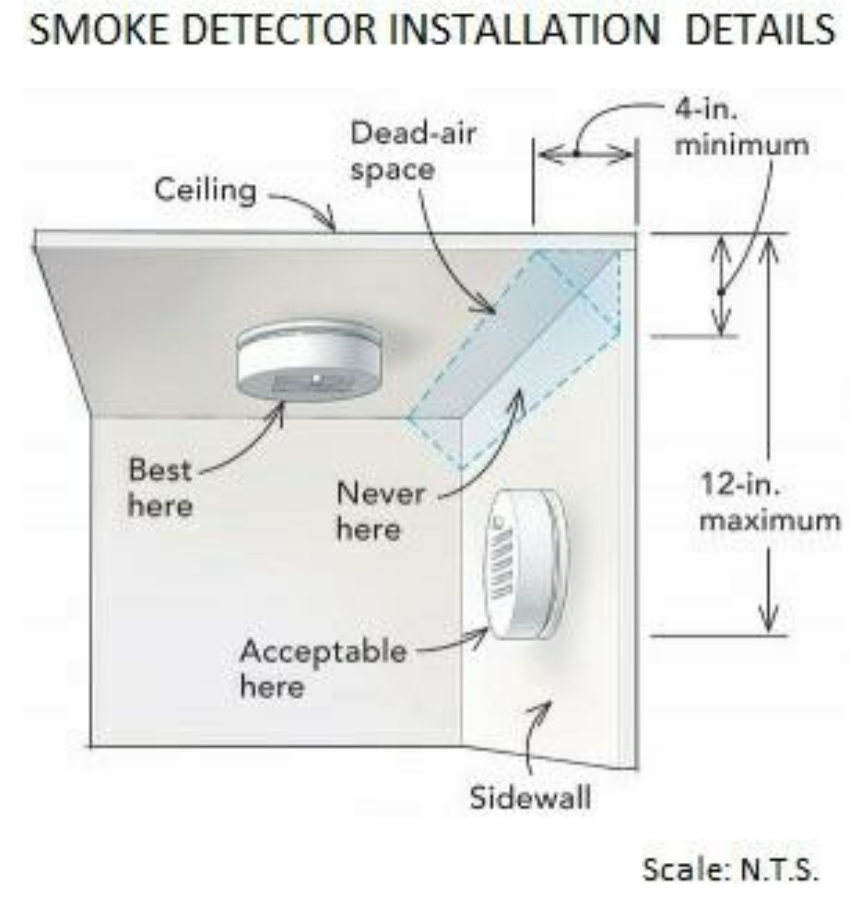
09/06/2022 Scale 3/8" = 1'-0"

E-1

1 1ST FLOOR ELECTRICAL PLAN
 3/8" = 1'-0"

- SCOPE OF WORK:**
- NEW 200 AMP ELECTRICAL PANEL "B" INSTALLATION IN UNIT 1.
 - NEW 200 AMP ELECTRICAL PANEL "A" INSTALLATION IN UNIT 2.
 - LIGHT FIXTURES INSTALLATION THROUGHOUT IN BOTH UNITS, AS SHOWN.
 - ELECTRICAL OUTLETS INSTALLATION IN THROUGHOUT IN BOTH UNITS, AS SHOWN.
 - INSTALLATION OF NEW APPLIANCES IN BOTH UNITS, AS SHOWN.

- NOTES:**
- RECEPTACLES SPECIFIED IN NEC 210.8, 15 OR 20 AMPS SHALL HAVE GFCI PROTECTION.
 - ALL 120 SINGLE PHASE 15 OR 20 AMPS BRANCH CIRCUITS SPECIFIED IN NEC 210.12 (B) SHALL BE PROTECTED BY AFCI BREAKERS
 - ALL RECEPTACLES SPECIFIED IN NEC 210.52, 120 V 15 OR 20 AMPS, SHALL BE LISTED TAMPER-RESISTANT RECEPTACLES (NEC 406.11)

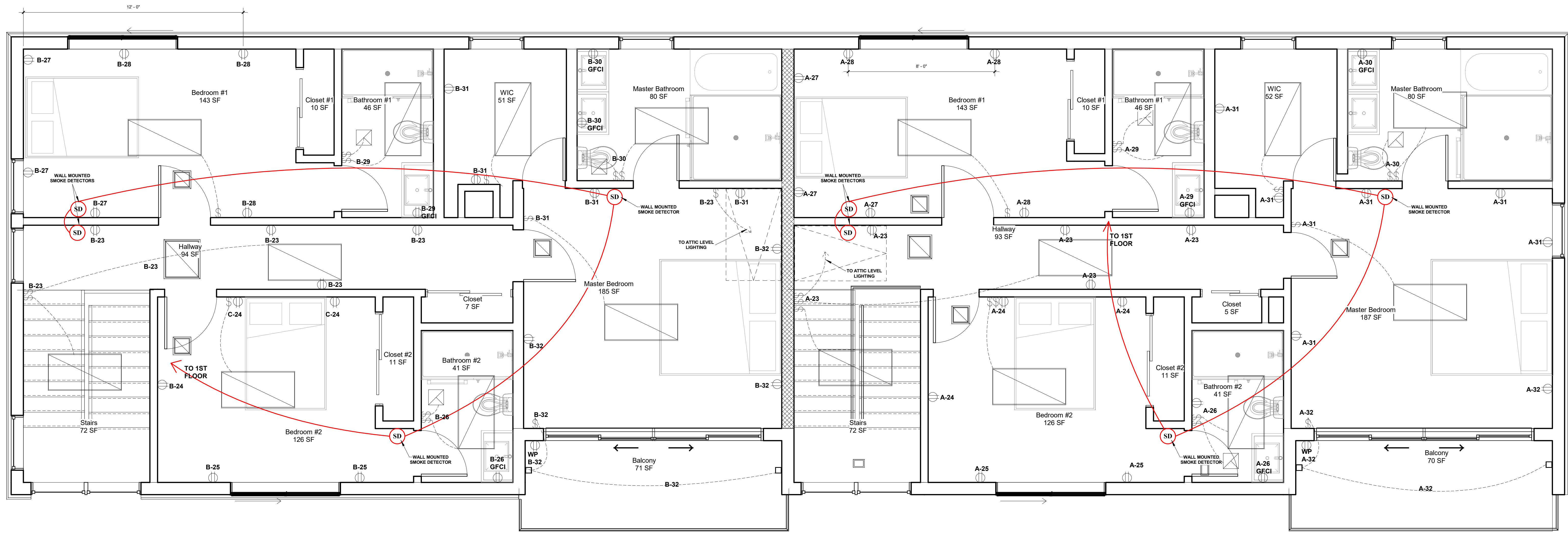


- SMOKE DETECTOR NOTES:**
- Smoke Detector wiring shall be made in a way, if one is activated, all remaining are activated.
 - All Smoke Detectors shall be AFCI.
 - For the ceiling mount, the Smoke Detector should be placed as close to center of the ceiling as possible.
 - Smoke Detector should be placed at least 4" from any corner wall junction.
 - Smoke Detector should NOT be placed:
 - Closer than 3 feet from an air supply diffuser or an air vent
 - Closer than 1 foot from fluorescent light fixture.
 - Smoke Detectors are required inside of all sleeping areas
 - Smoke Detectors to be interconnected, battery back up and 36" away from any vent or fan blade tip.

ELECTRICAL LEGEND	
	DUPLEX RECEPTACLE OUTLET
	DUPLEX RECEPTACLE OUTLET AFCI
	DUPLEX RECEPTACLE OUTLET GFCI
	DUPLEX RECEPTACLE OUTLET 220V
	DUPLEX RECEPTACLE OUTLET @ FLOOR
	ELECTRICAL PANEL
	TELEPHONE & DATA OUTLET
	TELEVISION OUTLET
	DISCONNECT SWITCH
	GROUND-FAULT INTERRUPTER
	CEILING LIGHTING FIXTURES
	EXTERIOR WALL MOUNTED LIGHT
	EXHAUST FAN
	WALL MOUNTED SCONCE LIGHTS
	NEW FLUORESCENT LIGHTING FIXTURE-SURFACE MTD.
	SMOKE DETECTOR
	SPEAKER

ELECTRICAL LEGEND	
	WALL SWITCH
	WATER PROOF
	CLG FAN W/ LIGHT
	EMERGENCY LIGHT
	LED LIGHT LINEAR
	ELECTRICAL SERVICE/METER
	TANKLESS WATER HEATER 220V
	THERMOSTAT
	CEILING HEIGHT (IN INCHES)
	ALARM CONTROL
	DOOR NUMBER
	CEILING SPRINKLER
	WALL SPRINKLER
	SWITCH ON CIRCUIT X
	3-WAY SWITCH ON CIRCUIT X

NOTE:
 Building Code: FBC 2020 7th
 Occupancy Type: R-3
 Type of Construction: III
 Classification of Work:
 New construction



2ND FLOOR PROPOSED ELECTRICAL PLAN
 3/8" = 1'-0"

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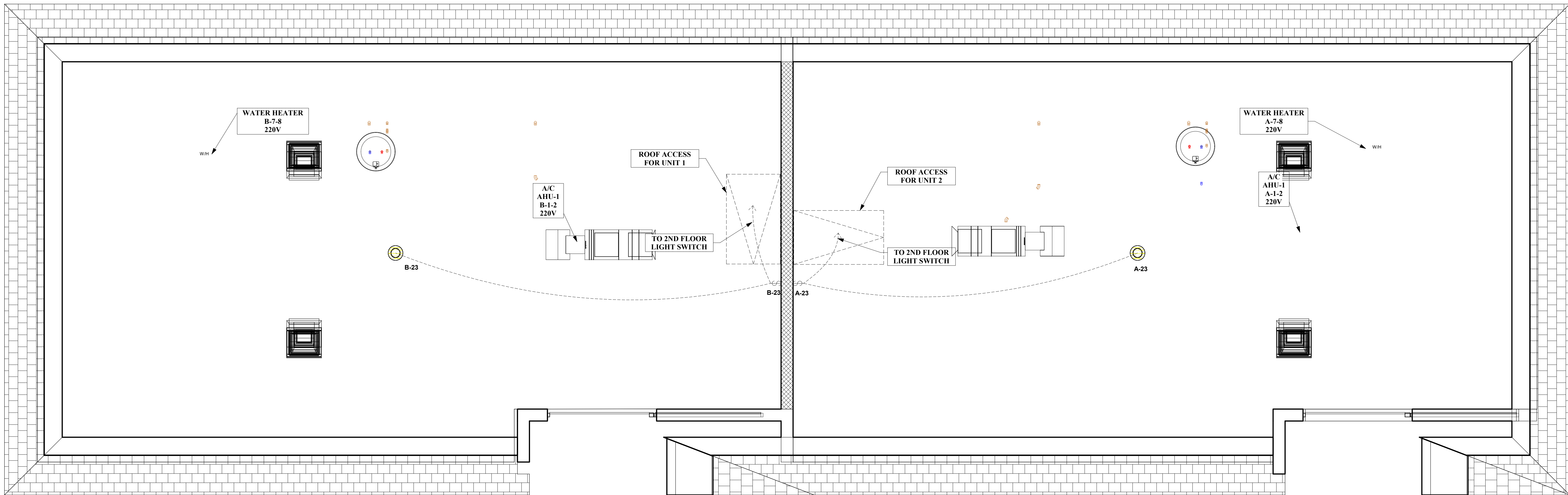
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 ##### BEACH, FL #####

OWNER: ### SW #TH ST
 ##### BEACH INC.
 DUPLEX DEVELOPMENT

2ND FLOOR - ELECTRICAL PLAN

09/06/2022 Scale 3/8" = 1'-0"

E-2



① ATTIC LEVEL ELECTRICAL PLAN
3/8" = 1'-0"

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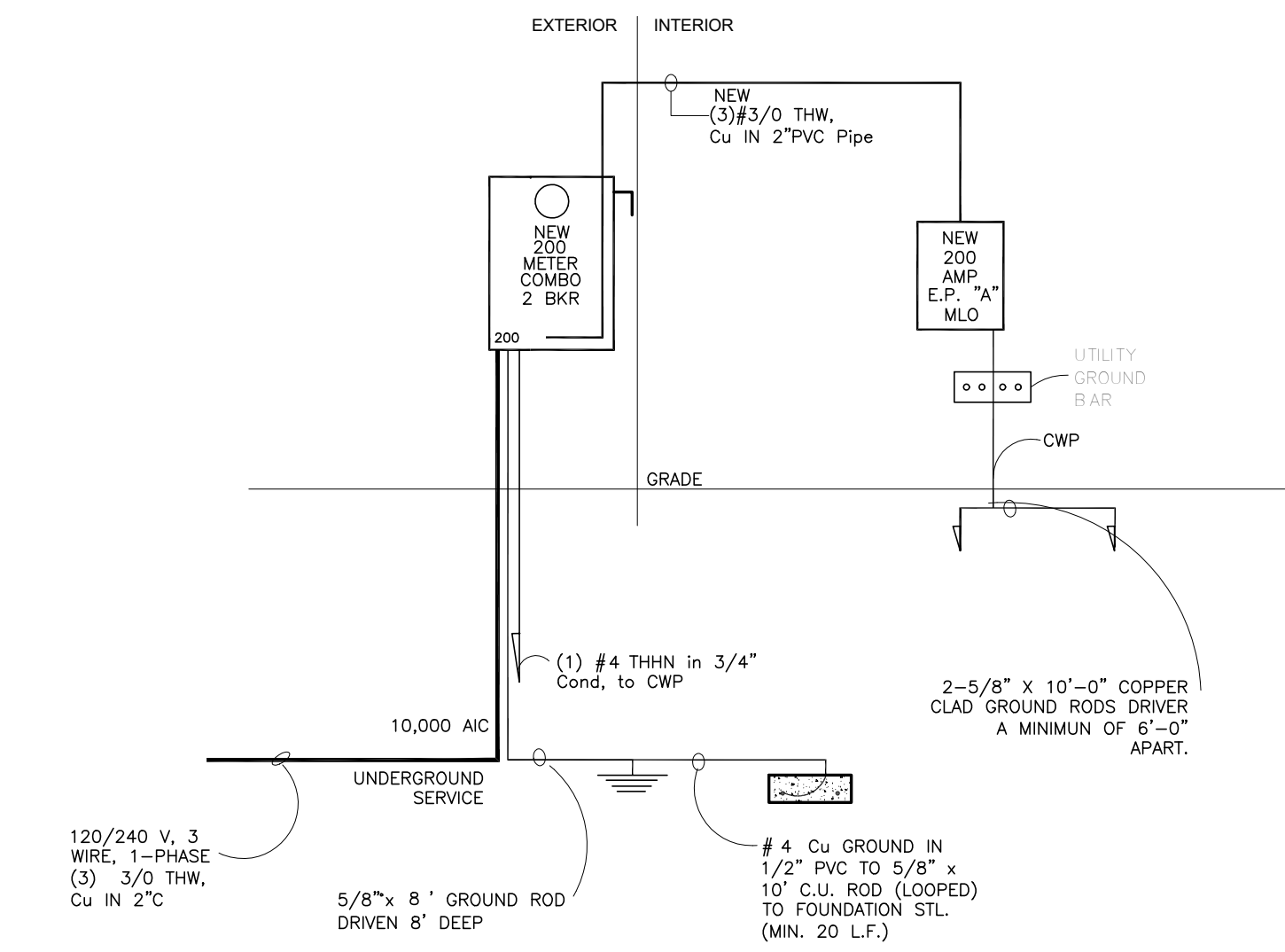
**ATTIC LEVEL -
ELECTRICAL
PLAN**

09/06/2022 Scale 3/8" = 1'-0"

ELECTRICAL GENERAL NOTES:

- INSTALLATION OF ALL WORK SHALL BE IN ACCORDANCE WITH THE FOLLOWING REGULATIONS, CODES, ETC. A. LOCAL CODES AND ORDINANCES B. THE EDITION OF THE NATIONAL ELECTRICAL CODE NFPA 70 (NEC) IN EFFECT.
- PRIOR TO BEGINNING ANY WORK, SECURE NECESSARY PERMITS OR CLEARANCES FROM THE AUTHORITIES HAVING JURISDICTION. PROVIDE ALL LABOR AND MATERIALS FOR A COMPLETE INSTALLATION. WORK SHALL BE EXECUTED BY EXPERIENCED ELECTRICIANS WHO ARE LICENSED IN THE JURISDICTION WHERE THE PROJECT IS LOCATED.
- THE CONTINUITY OF ALL EXISTING CIRCUITS TO REMAIN SHALL BE MAINTAINED.
- THE ELECTRICAL PLANS ARE DIAGRAMMATIC ONLY. COORDINATE ELECTRICAL EQUIPMENT LOCATION AND INSTALLATION WITH EQUIPMENT BEING SERVED. PROVIDE ALL POWER AND TELECOMMUNICATION FINAL CONNECTIONS TO THE SYSTEM FURNITURE AS REQUIRED.
- ALL EQUIPMENT SUCH AS RELAYS, SWITCHES, PANELS, AND OTHER APPURTENANCES SHALL HAVE IDENTIFICATION PLATES OF BLACK LAMINATED PLASTIC WITH 1/2" WHITE LETTERS. ALL JUNCTION BOXES IN CEILING CAN BE MARKED WITH BLACK PERMANENT MARKER ON COVER PLATES AS PANEL DESIGNATION AND CIRCUIT NUMBER FROM WHICH THEY ARE FED.
- ALL CONDUCTORS SHALL BE IDENTIFIED. ALL WIRING DEVICES SHALL BE USED WITH TYPED LABEL ON THE COVER PLATE IDENTIFYING THE PANEL DESIGNATION AND CIRCUIT NUMBER FROM WHICH THEY ARE FED.
- ALL EQUIPMENT SHALL BE "UL" LISTED.
- ELECTRICAL SYSTEMS SHALL BE GROUNDED PER ARTICLE 250 OF THE NATIONAL ELECTRICAL CODE.
- ALL CONNECTIONS TO DEVICES SHALL BE TAPED WITH SCOTCH 33 ELECTRICAL TAPE.
- ALL CONDUITS AND JUNCTION BOXES SHALL BE CONCEALED IN FINISHED AREAS. PRIOR TO CONCEALMENT OF NEW CONSTRUCTION, ALL WORK BEHIND FINISHED SURFACES SHALL BE INSPECTED BY THE OWNER'S REPRESENTATIVE.
- CONTRACTOR SHALL INFORM THE OWNER'S REPRESENTATIVE PRIOR TO BEGINNING CONSTRUCTION AND PRIOR TO COMPLETION OF CONSTRUCTION TO ALLOW SUFFICIENT TIME FOR COORDINATION OF EXISTING BUILDING ACTIVITIES WITH THE CONSTRUCTION WORK.
- CONTROL WIRING SHALL BE TAGGED AT EACH END AND TERMINATED WHERE WORK HAS BEEN PERFORMED IN ACCORDANCE WITH EQUIPMENT MANUFACTURES SPECIFICATIONS.
- IF MATERIAL OR EQUIPMENT IS INSTALLED BEFORE IT IS APPROVED, THE CONTRACTOR SHALL BE LIABLE FOR ITS REMOVAL AND REPLACEMENT AT NO ADDITIONAL CHARGE OR IF IN THE OPINION OF THE ARCHITECT OR ENGINEER, THE MATERIAL OR EQUIPMENT DOES NOT MEET THE INTENT OF THE DRAWINGS AND SPECIFICATIONS.
- THE CONTRACTOR SHALL INCLUDE IN THE WORK, WITHOUT EXTRA COST, ANY LABOR, MATERIALS, SERVICES, APPARATUS, AND DRAWINGS IN ADDITION TO CONTRACT DOCUMENTS, IN ORDER TO COMPLY WITH ALL APPLICABLE LAWS, INDICATED AND/OR SPECIFIED. PROVIDE ALL ELECTRICAL EQUIPMENT WITH ALL NECESSARY ASSOCIATED ACCESSORIES AND CONDUIT INFRASTRUCTURE AS REQUIRED TO ENSURE A COMPLETE AND OPERATIONAL SYSTEM AT NO ADDITIONAL COST TO OWNER.
- BEFORE SUBMITTING BIDS, THE CONTRACTOR SHALL VISIT THE SITE AND EXAMINE ALL ADJOINING EXISTING BUILDINGS, EQUIPMENT, AND SPACE CONDITIONS ON WHICH HIS WORK IS IN ANY WAY DEPENDANT FOR THE BEST WORKMANSHIP AND OPERATION ACCORDING TO THE INTENT OF THE SPECIFICATIONS AND DRAWINGS. HE SHALL REPORT TO THE ARCHITECT/ENGINEER ANY CONDITION WHICH MIGHT PREVENT HIM FROM INSTALLING HIS EQUIPMENT IN THE MANNER SPECIFIED OR AS SHOWN IN CONTRACT DOCUMENTS TEN BUSINESS DAYS PRIOR TO SUBMISSION OF BIDS. NO CONSIDERATION OR ALLOWANCE WILL BE GRANTED FOR FAILURE TO VISIT THE SITE. NOR FOR ANY ALLEGED MISUNDERSTANDING OF MATERIALS TO BE FURNISHED OR WORK TO BE PERFORMED. THE CONTRACTOR SHALL INCLUDE IN HIS BID PRICE ALL LABOR AND MATERIAL THAT MAY EFFECT HIS WORK.
- THE CONTRACTOR SHALL NOTIFY THE ARCHITECT/ENGINEER IN WRITING OF ANY DISCOVERED CONFLICTS BETWEEN EXISTING INSTALLATIONS WHICH ARE NOT SCHEDULED FOR DEMOLITION AND THE NEW WORK INDICATED WITHIN THE CONTRACT DOCUMENTS. SUCH NOTIFICATION SHALL BE ACCOMPANIED BY A DRAWING DELINEATING THE PROPOSED SOLUTION PRIOR TO STARTING ANY WORK IN THE AFFECTED AREA.
- ALL NEW SLAB PENETRATIONS MUST BE X-RAYED OR RADAR PRIOR TO CORE DRILLING. OBTAIN APPROVAL FROM OWNER'S REPRESENTATIVE PRIOR TO ANY CORE DRILLING.
- ALL MATERIALS AND WORK SHALL BE ACCORDING TO BASE BUILDING SPECIFICATIONS UNLESS OTHERWISE NOTED.
- ALL CONDUCTORS SHALL BE COPPER. MINIMUM SIZE SHALL BE #12 AWG. CONDUCTOR #10 AWG AND SMALLER SHALL BE SOLID. CONDUCTORS #8 AWG AND LARGER SHALL BE STRANDED. CONDUCTOR SHALL HAVE THHN/THWN INSULATION OR AS NOTED.
- NUMBER OF WIRES MAY NOT BE INDICATED FOR ALL CIRCUITS. ONLY THOSE WHERE CLARIFICATION IS NECESSARY. PROVIDE ALL WIRE NECESSARY FOR THE PROPER FUNCTION OF THE SYSTEM WHETHER INDICATED ON PLAN OR NOT.
- REFER TO ARCHITECTURAL DRAWINGS FOR THE EXACT LOCATION, ELEVATION, MOUNTING HEIGHTS AND DETAILS OF ALL LIGHT FIXTURES AND DEVICES. REPORT ANY DISCREPANCIES TO THE ARCHITECT IMMEDIATELY.
- VERIFY DOOR SWINGS BEFORE INSTALLING LIGHT SWITCHES.
- GANG ALL SWITCHES SHOWN TO BE INSTALLED AT SAME LOCATION UNDER A SINGLE COVER PLATE. PROVIDE BARRIERS SWITCH BOX AS REQUIRED TO SEPARATE 120V CIRCUITS FROM 277V CIRCUITS AND 277V CIRCUITS OF DIFFERENT PHASE.
- PROVIDE PLASTER RING WITH PULL STRING TO SPACE ABOVE SUSPENDED CEILING FOR ALL TELEPHONE, DATA, FAX, MODEM, CATV, CARD READER, ETC. OUTLETS INSTALLED IN HOLLOW PARTITIONS. PROVIDE 3/4" EMPTY CONDUIT AND PULL STRING TO SPACE ABOVE SUSPENDED CEILING FOR THESE OUTLETS INSTALLED IN AN INSULATED PARTITION. PROVIDE 1" E.C. WITH 2 STRINGS FOR COMBINATION DATA/TEL OUTLET.
- MAINTAIN INTEGRITY OF THE FIRE RATED CONSTRUCTION WHERE CONDUITS PASS THROUGH WALLS AND FLOORS.
- ALL BACK BOXES INSTALLED ON OPPOSITE SIDES OF THE SAME PARTITION SHALL BE STAGGERED. DO NOT MOUNT THE BACK BOXES BACK TO BACK.
- TYPE MC CABLE MAY BE USED IN LIEU OF EMT FOR BRANCH CIRCUITS, IN DRYWALL PARTITION AND IN CEILING PLENUM WHERE IS ALLOWED BY NEC AND THE BUILDING OWNER. (MC CABLE FOR ISOLATED CIRCUIT SHALL HAVE TWO (2) SEPARATE GROUNDING CONDUCTORS).
- CONTRACTOR'S SCOPE OF WORK INCLUDES TRACING ALL EXISTING CIRCUITS IN THE CONSTRUCTION AREA BACK TO SOURCE. IF REMOVAL OF EXISTING ELECTRICAL EQUIPMENT AFFECTS ANY EXISTING CIRCUITS, CONTRACTOR SHALL PROVIDE CIRCUIT BREAKERS, WIRING, CONDUIT, ETC. REQUIRED TO RECONNECT EXISTING-TO-REMAIN ELECTRICAL EQUIPMENT BACK TO SOURCE.

- PROVIDE ACCESS PANELS IN ALL INACCESSIBLE JUNCTION BOXES AS REQUIRED BY THE N.E.C.
- CONTRACTOR SHALL PROVIDE 50% STEP-DIM BALLASTS IN ALL LIGHTING FIXTURES WHERE TWO LEVELS OF SWITCHING ARE INDICATED.
- ALL EXISTING AND NEW PANELS IMPACTED BY THIS PROJECT SHALL BE PROVIDED WITH NEW UPDATED TYPEWRITTEN PANEL SCHEDULES INDICATING THE FINAL ROOM NUMBER AND THE EQUIPMENT OR DEVICES SERVED BY THE CIRCUIT. CONTRACTOR TO BE BALANCE THE NEW LOADS ON ALL THREE PHASES FOR EACH PANELBOARD WHERE WORK HAS BEEN PERFORMED IN ACCORDANCE WITH EQUIPMENT MANUFACTURER'S SPECIFICATIONS
- INSTALLATION OF EQUIPMENT, COMPONENTS AND WIRING FOR ELECTRICAL SYSTEMS SHALL BE IN ACCORDANCE WITH REQUIREMENTS OF EQUIPMENT MANUFACTURER.
- DELIVER PRODUCTS TO PROJECT SITE IDENTIFIED WITH NAMES, MODEL NUMBERS, TYPES, GRADES, COMPLIANCE LABELS, AND OTHER INFORMATION NEEDED FOR DISTINCT IDENTIFICATION; ADEQUATELY PACKAGED AND PROTECTED TO PREVENT DAMAGE DURING SHIPMENT, STORAGE, AND HANDLING. PROTECT STORED EQUIPMENT AND MATERIALS FROM DAMAGE. COMPLY WITH MANUFACTURER'S RIGGING AND MOVING INSTRUCTIONS FOR UNLOADING EQUIPMENT AND MOVING INTO FINAL LOCATION.
- CONTRACTOR TO COORDINATE ELECTRICAL WORK TO AVOID INTERFERENCE BETWEEN ALL OTHER TRADES.
 - DETERMINE INTERFERENCE BEFORE WORK IS FABRICATED OR INSTALLED. THE CONTRACTOR SHALL BE THOROUGHLY FAMILIAR WITH ALL DETAILS OF WORK AND WORKING CONDITIONS AND COORDINATE WORK DURING PRELIMINARY STAGES TO ENSURE ACTUAL ERECTION WILL PROCEED WITHOUT INTERFERENCE. COORDINATION IS OF PARAMOUNT IMPORTANCE AND NO REQUESTS FOR ADDITIONAL PAYMENT WILL BE CONSIDERED WHERE REQUEST IS BASED ON INTERFERENCE.
 - WHERE JOB CONDITIONS REQUIRE REASONABLE DEVIATIONS FROM CONTRACT DOCUMENTS, MAKE DEVIATIONS WITHOUT ADDITIONAL COST TO OWNER, AFTER OBTAINING APPROVAL OF ARCHITECT.
- PROVIDE MAXIMUM PRACTICAL SPACE FOR OPERATION, REPAIR, REMOVAL, AND TESTING OF ELECTRICAL EQUIPMENT. APPROVED DEVIATIONS MAY BE MADE TO PROVIDE REQUIRED ACCESSIBILITY.
- KEEP CONDUITS, WIREWAYS AND SIMILAR ITEMS AS CLOSE AS POSSIBLE TO CEILING, WALLS AND COLUMNS IN ORDER TO TAKE UP MINIMUM AMOUNT OF SPACE.
- PROVIDE OFFSETS, FITTINGS AND SIMILAR ITEMS NECESSARY TO ACCOMPLISH REQUIREMENTS OF COORDINATION WITHOUT ADDITIONAL EXPENSE TO OWNER.
- PROVIDE ACCESS TO AND CLEARANCES AROUND EQUIPMENT AS REQUIRED BY THE N.E.C.
- LIGHTING FIXTURES SHALL BE INDIVIDUALLY SUPPORTED FROM THE STRUCTURAL FRAMING MEMBERS ABOVE.
- CONTRACTOR SHALL PROVIDE WRITTEN CERTIFICATION THAT ALL PRODUCTS, MATERIALS AND PROCESSES INSTALLED IN THE SPACE CONTAINS NO ASBESTOS OR PCB.
- TESTING:
 - TEST AND ADJUST EQUIPMENT AND SYSTEMS INSTALLED AND DEMONSTRATE PROPER OPERATION TO OWNER'S REPRESENTATIVE. NO EQUIPMENT SHALL BE TESTED OR OPERATED FOR ANY PURPOSE UNTIL IT HAS BEEN FULLY PREPARED FOR OPERATION IN ACCORDANCE WITH MANUFACTURER'S INSTRUCTIONS.
 - SHOW, BY DEMONSTRATION IN SERVICE, THAT ALL CIRCUITS AND DEVICES ARE IN GOOD OPERATING CONDITION. EACH PIECE OF EQUIPMENT AND COMPONENT OF THE ELECTRICAL SYSTEM SHALL FUNCTION NOT LESS THAN FIVE TIMES IN COURSE OF THE ACCEPTANCE TESTS.
- PROVIDE ALL NEW PANELS AND TRANSFORMERS WITH COPPER BUSBARS AND WINDINGS UNLESS BASE BUILDING STANDARDS DIFFER.
- ELECTRICAL CONTRACTOR TO COORDINATE WITH MECHANICAL, PLUMBING AND OTHER TRADES TO PROVIDE ALL EQUIPMENT ASSOCIATED WITH THEIR RESPECTIVE TRADES WITH NECESSARY WIRING AND CONDUIT INFRASTRUCTURE FOR ALL SENSORS, AND CONTROL SYSTEMS AS REQUIRED.
- ANY INVESTIGATION OF CIRCUITS IN THE EXISTING PANELS MUST BE DONE AFTER NORMAL BUSINESS HOURS SO AS NOT TO DISTURB THE OPERATIONS OF EXISTING OWNERS AND TENANTS WHO WOULD BE AFFECTED BY TURNING CIRCUIT BREAKERS ON AND OFF TO CONFIRM THEIR USE AND LOCATION.



Electrical Riser

NTS

1 electrical riser detail
1" = 50'-0"

NEW ELECTRICAL PANEL 'A'				
TYPE : NEW		MAINS : M.L.O.		
MOUNTING : FLUSH		BUS RATING: 200 AMP		
LOCATION : FOYER		VOLTAGE : 120/240V-1PHASE-3WIRE		
DESCRIPTION	TYPE	CIRCUITS	AMPS	POLES
A/C 5T FCU-1		A-1-2	60	2
A/C 5T CU-1		A-3-4	50	2
Range		A-5-6	50	2
Water Heater		A-7-8	35	2
Dryer		A-9-10	30	2
Kitchen GFCI - 10-pc		A-15-16	20	1
Refrigerator	GFCI	A-11	20	1
Garbage Disposal	GFCI	A-12	20	1
Dishwasher	GFCI	A-13	20	1
Microwave	AFCI	A-14	20	1
Kitchen Outlets	AFCI	A-17	20	1
Kitchen, Dining, Living, Foyer lights	AFCI	A-18	20	1
Dining/Living/Foyer Outlets	AFCI	A-19-20	20	1
Washer	AFCI	A-21	20	1
Guest Bathroom 1 Outlets, lighting & Fan	GFCI	A-22	20	1
Hallway	AFCI	A-23	20	1
Bedroom 2 Outlets	AFCI	A-24-25	20	1
Bedroom 2 lighting	AFCI	A-24-25	20	1
Bathroom 2 GFCI, Fan & lighting	GFCI	A-26	20	1
Bedroom 1 Outlets	AFCI	A-27-28	20	1
Bedroom 1 lighting	AFCI	A-27-28	20	1
Bathroom 1 GFCI, Fan & lighting	GFCI	A-29	20	1
Master Bedroom, Balcony Outlets	AFCI	A-31-32	20	1
Master Bedroom, Balcony lighting	AFCI	A-31-32	20	1
Master Bathroom GFCI, Fan & lighting	GFCI	A-30	20	1
Smoke Detectors	AFCI	A-33	15	1
Security System	AFCI	A-34	15	1
Spaces		A-35 to 42		

* All receptacles are TR

* All 15 or 20 AMPs branch circuits comply to NEC 210-212, AFCI

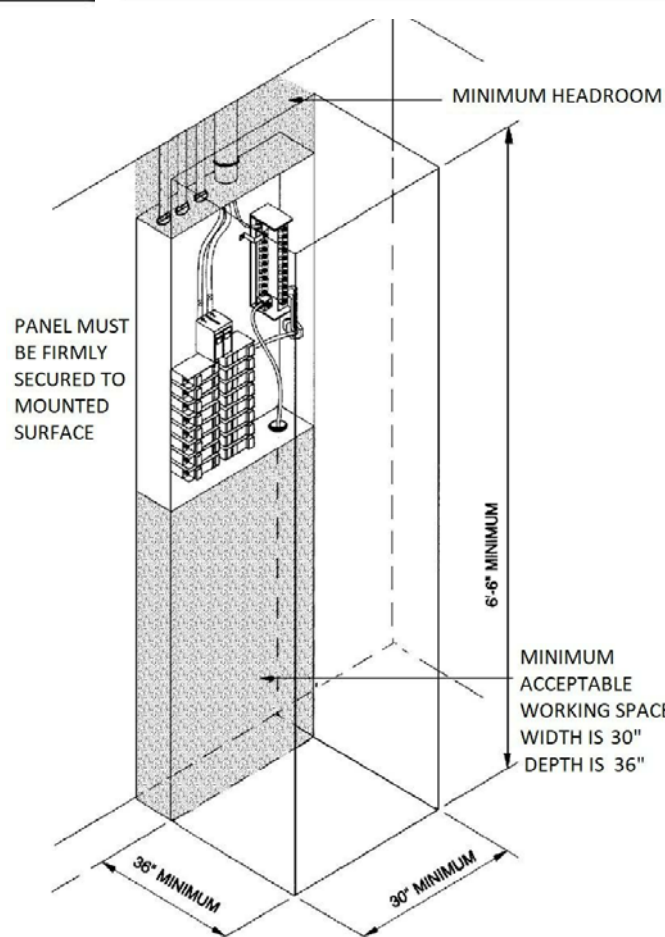
NEW ELECTRICAL PANEL 'B'				
TYPE : NEW		MAINS : M.L.O.		
MOUNTING : FLUSH		BUS RATING: 200 AMP		
LOCATION : FOYER		VOLTAGE : 120/240V-1PHASE-3WIRE		
DESCRIPTION	TYPE	CIRCUITS	AMPS	POLES
A/C 5T FCU-1		B-1-2	60	2
A/C 5T CU-1		B-3-4	50	2
Range		B-5-6	50	2
Water Heater		B-7-8	35	2
Dryer		B-9-10	30	2
Kitchen GFCI - 10-pc		B-15-16	20	1
Refrigerator	GFCI	B-11	20	1
Garbage Disposal	GFCI	B-12	20	1
Dishwasher	GFCI	B-13	20	1
Microwave	AFCI	B-14	20	1
Kitchen Outlets	AFCI	B-17	20	1
Kitchen, Dining, Living, Foyer lights	AFCI	B-18	20	1
Dining/Living/Foyer Outlets	AFCI	B-19-20	20	1
Washer	AFCI	B-21	20	1
Guest Bathroom 1 Outlets, lighting & Fan	GFCI	B-22	20	1
Hallway	AFCI	B-23	20	1
Bedroom 2 Outlets	AFCI	B-24-25	20	1
Bedroom 2 lighting	AFCI	B-24-25	20	1
Bathroom 2 GFCI, Fan & lighting	GFCI	B-26	20	1
Bedroom 1 Outlets	AFCI	B-27-28	20	1
Bedroom 1 lighting	AFCI	B-27-28	20	1
Bathroom 1 GFCI, Fan & lighting	GFCI	B-29	20	1
Master Bedroom, Balcony Outlets	AFCI	B-31-32	20	1
Master Bedroom, Balcony lighting	AFCI	B-31-32	20	1
Master Bathroom GFCI, Fan & lighting	GFCI	B-30	20	1
Smoke Detectors	AFCI	B-33	15	1
Security System	AFCI	B-34	15	1
Spaces		B-35 to 42		

* All receptacles are TR

* All 15 or 20 AMPs branch circuits comply to NEC 210-212, AFCI

ELECTRICAL PANEL 'A' - ELECTRICAL LOAD CALCULATIONS			
DESCRIPTION	TOTAL VA	LOAD VA	AREA SF
			2200
KITCHEN	2,000		
DISHWASHER	1,000		
MICROWAVE	1,000		
REFRIGERATOR	1,000		
GARBAGE DISPOSAL	500		
DISHWASHER	1,000		
KITCHEN DINING AREA OUTLETS	800		
KITCHEN/DINING/LIVING/FOYER LIGHTS	800		
WASHER	1,500		
DRYER	3,000		
WATER HEATER	4,500		
RANGE	8,000		
DINING/LIVING/FOYER OUTLETS	800		
GUEST BATHROOM LIGHTING	500		
GUEST BATHROOM OUTLETS	1,500		
HALLWAY	400		
BEDROOM 2 OUTLETS	600		
BEDROOM 2 LIGHTING	600		
BATHROOM 2 LIGHTING	500		
BATHROOM 2 OUTLETS	1,500		
BEDROOM 1 OUTLETS	600		
BEDROOM 1 LIGHTING	600		
BATHROOM 1 LIGHTING	500		
BATHROOM 1 OUTLETS	1,500		
MASTER BEDROOM OUTLETS	700		
MASTER BEDROOM LIGHTING	700		
MASTER BATHROOM LIGHTING	500		
MASTER BATHROOM OUTLETS	1,500		
SECURITY SYSTEM	500		
SUBTOTAL:	38,600		
First 10kVA at 100%	10,000		
Rest at 40%	11,440		
A/C 5T FCU-1 load at 100%	12,600		
A/C 5T CU-1 load at 100%	7,200		
TOTAL:	41,240	VA	
Panel load (240V)	171.8	Amps	

ELECTRICAL PANEL 'B' - ELECTRICAL LOAD CALCULATIONS			
DESCRIPTION	TOTAL VA	LOAD VA	AREA SF
			2200
KITCHEN	2,000		
DISHWASHER	1,000		
MICROWAVE	1,000		
REFRIGERATOR	1,000		
GARBAGE DISPOSAL	500		
DISHWASHER	1,000		
KITCHEN DINING AREA OUTLETS	800		
KITCHEN/DINING/LIVING/FOYER LIGHTS	800		
WASHER	1,500		
DRYER	3,000		
WATER HEATER	4,500		
RANGE	8,000		
DINING/LIVING/FOYER OUTLETS	800		
GUEST BATHROOM LIGHTING	500		
GUEST BATHROOM OUTLETS	1,500		
HALLWAY	400		
BEDROOM 2 OUTLETS	600		
BEDROOM 2 LIGHTING	600		
BATHROOM 2 LIGHTING	500		
BATHROOM 2 OUTLETS	1,500		
BEDROOM 1 OUTLETS	600		
BEDROOM 1 LIGHTING	600		
BATHROOM 1 LIGHTING	500		
BATHROOM 1 OUTLETS	1,500		
MASTER BEDROOM OUTLETS	700		
MASTER BEDROOM LIGHTING	700		
MASTER BATHROOM LIGHTING	500		
MASTER BATHROOM OUTLETS	1,500		
SECURITY SYSTEM	500		
SUBTOTAL:	38,600		
First 10kVA at 100%	10,000		
Rest at 40%	11,440		
A/C 5T FCU-1 load at 100%	12,600		
A/C 5T CU-1 load at 100%	7,200		
TOTAL:	41,240	VA	
Panel load (240V)	171.8	Amps	



DESCRIPTION

DATE

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SW #TH STREET
BEACH, FL

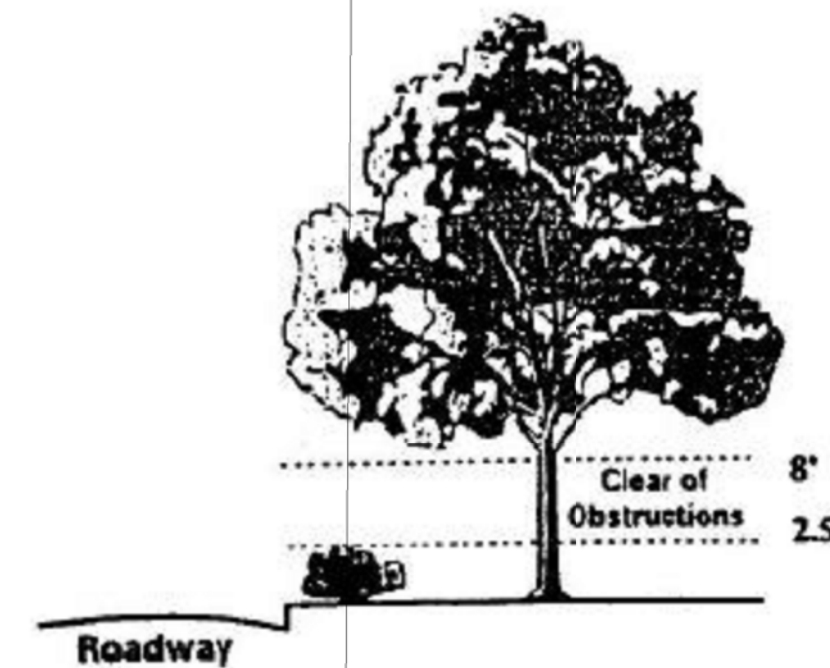
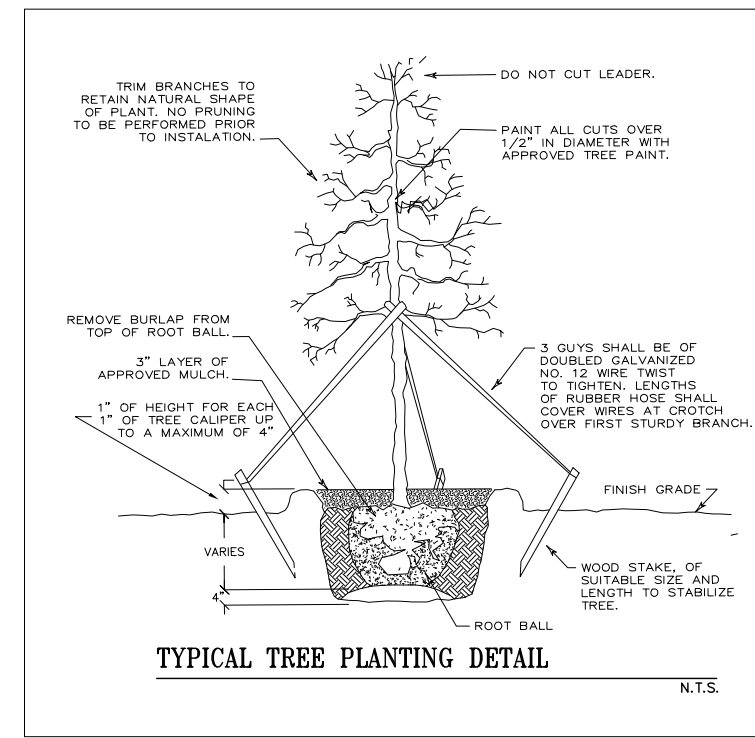
OWNER: ### SW #TH ST
BEACH INC.
DUPLEX DEVELOPMENT

**ELECTRICAL -
PANELS
SCHEDULE &
NOTES**

09/06/2022 Scale As indicated

E-4

NAME	IMAGE	SYMBOL	QUANTITY	TYPE	MINIMUM DBH	MINIMUM	PERCENTAGES
						HEIGHT/SPREAD	
PLUMERIA TREE			1	Large tree	2 inches	10-12' tall, 4-5' spr. 2-3" caliper	Minimum 40% of the required trees
GRAPE MYRTLE TREE			3	SMALL / Medium	2 inches	10-12' tall, 4-5' spr. 2-3" caliper	Maximum 20% of the required trees
ROSE TREE			2	Flowering tree	Varies on which type and percentage is being utilized	6-8' tall, 2-3' spr. 2" caliper	Minimum 20% of required trees
QUEEN PALM			3	Specimen palm species: Royal Palms, Bismarckia, Canary Island Date palms and Medjool Date palm Copernicia baileyana, Elaeis guineensis (counted as one to one)	Heavy	10 feet of gray wood	Maximum 20% in specimen palms or other palms for the required trees
PROPOSED CLUSIA GUTTIFERA PLANT				Shrubs and hedges	N/A	2 feet in overall height, 18-inch spread, 18 inches on center	



CODE IN EFFECT:
2020 FLORIDA BUILDING CODE.

C ##-TH STREET
(60' RW)

L

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SW ##-TH STREET
BEACH, FL

OWNER: ### SW ##-TH ST
BEACH INC.
DUPLIX DEVELOPMENT

LANDSCAPE PLAN

09/06/2022 Scale 1/8" = 1'-0"

L-1



1 LANDSCAPE PLAN
1/8" = 1'-0"

SCOPE OF WORK:

1. INSTALL NEW AHU-1 5-TON A/C UNIT IN ATTIC AREA TO SERVICE PROPOSED DUPLEX UNIT 1, AS SHOWN
2. INSTALL NEW AHU-2 5-TON A/C UNIT IN ATTIC AREA TO SERVICE PROPOSED DUPLEX UNIT 2, AS SHOWN
3. INSTALL NEW CU-1 5-TON A/C UNIT OUTSIDE, NEXT TO PATIO AREA TO SERVICE PROPOSED DUPLEX UNIT 1, AS SHOWN
4. INSTALL NEW CU-2 5-TON A/C UNIT OUTSIDE, NEXT TO PATIO AREA TO SERVICE PROPOSED DUPLEX UNIT 2, AS SHOWN
5. INSTALL NEW A/C SUPPLY & RETURN DUCTWORK FOR AHU 1 AND AHU 2, AS SHOWN
6. INSTALL NEW A/C GRILLES AND DIFFUSERS FOR AHU-1 UNIT & AHU-2 UNIT, AS SHOWN.
7. A/C DUCTWORK SHALL BE GLASS FIBER DUCTWORK (R-6)
8. INSTALL NEW METAL EXHAUST DUCTWORK THROUGH ALL BATHROOMS WALL WITH WALLCAP AND WMS
9. INSTALL NEW EXHAUST DUCTWORK & FAN (50 CFM MIN) IN ALL BATHROOMS, AS SHOWN.
10. INSTALL NEW DRYERS, AND NEW EXHAUST CONNECTIONS, AS SHOWN.

HVAC GENERAL NOTES:

1. THE HVAC CONTRACTOR SHALL VISIT THE JOB SITE AND BE FAMILIAR WITH ALL PROJECT CONDITIONS PRIOR TO FABRICATING DUCTWORK, EQUIPMENT, ETC. NO ALLOWANCES WILL BE MADE FOR CONTRACTOR'S UNFAMILIARITY WITH PROJECT CONDITIONS.
2. PIPING AND DUCTWORK ROUTING SHOWN IS SCHEMATIC. HVAC CONTRACTOR SHALL PROVIDE ANY ADDITIONAL OFFSETS AND FITTINGS, INCLUDING DIVIDED DUCTS, REQUIRED FOR PROPER INSTALLATION AND TO MAINTAIN CLEARANCES AS ENCOUNTERED IN THE FIELD.
3. FURNISH ALL LABOR, MATERIAL AND EQUIPMENT REQUIRED FOR THE COMPLETE INSTALLATION AND OPERATION OF ALL SYSTEMS IN THIS SECTION OF WORK IN ACCORDANCE WITH ALL APPLICABLE CODES, ASHRAE, SMACNA, NFPA, EPA, ETC.
4. PRIOR TO INSTALLATION OF ASSOCIATED WORK; INSTALLER SHALL MEET AT PROJECT SITE WITH GENERAL CONTRACTOR, INSTALLER OF EACH COMPONENT OF ASSOCIATED WORK, INSPECTION AND TESTING AGENCY REPRESENTATIVES (IF ANY), INSTALLERS OF OTHER WORK REQUIRING COORDINATION WITH WORK OF THIS SECTION AND ARCHITECT / OWNER FOR PURPOSE OF COORDINATING LOCATIONS OF PROPOSED SYSTEMS, REVIEWING MATERIAL SELECTIONS, AND PROCEDURES TO BE FOLLOWED IN PERFORMING THE WORK IN COMPLIANCE WITH REQUIREMENTS SPECIFIED.
5. COORDINATE INSTALLATION AND LOCATIONS OF DUCTWORK AND PIPING WITH BUILDING STRUCTURE, PLUMBING PIPING, ELECTRICAL CONDUIT, LIGHTING, ETC. PRIOR TO PURCHASING OR INSTALLING EQUIPMENT AND MATERIALS.
6. ALL PIPING, DUCTS, VENTS, ETC. EXTENDING THROUGH WALLS AND CEILING SHALL BE FLASHED AND COUNTERFLASHED IN A WATERPROOF MANNER.
7. MAINTAIN MINIMUM OF TEN (10) FEET BETWEEN OUTDOOR AIR INTAKES AND EXHAUST FAN DISCHARGE, PLUMBING VENTS, ETC.
8. REFER TO PLUMBING DRAWINGS FOR LOCATION AND ROUTING OF ALL CONDENSATE DRAIN LINE CONNECTION POINTS, GAS PIPING, AND WATER HEATER COMBUSTION / EXHAUST AIR DUCTWORK.
9. CONTRACTOR SHALL BE LICENSED TO PERFORM MECHANICAL WORK IN THE MUNICIPALITY IN WHICH THE PROJECT IS LOCATED.
10. CONTRACTOR SHALL GUARANTEE ALL WORK PERFORMED AND MATERIALS FURNISHED, AGAINST DEFECTS IN MATERIALS AND WORKMANSHIP FOR A PERIOD OF ONE (1) YEAR FROM THE DATE OF THE OWNER'S FINAL ACCEPTANCE OF THE WORK. ANY DEFECTS SHALL BE RECTIFIED WITHOUT ANY ADDITIONAL COST TO THE OWNER.
11. WORK SHALL COMPLY WITH THE LATEST REVISIONS OF FLORIDA STATE BUILDING CODE, MECHANICAL CODE, FIRE PROTECTION AND CONSTRUCTION CODE, ENERGY CONSERVATION CODE, AND ANY LOCAL CODES OR REGULATIONS THAT APPLY.

HVAC GENERAL NOTES:

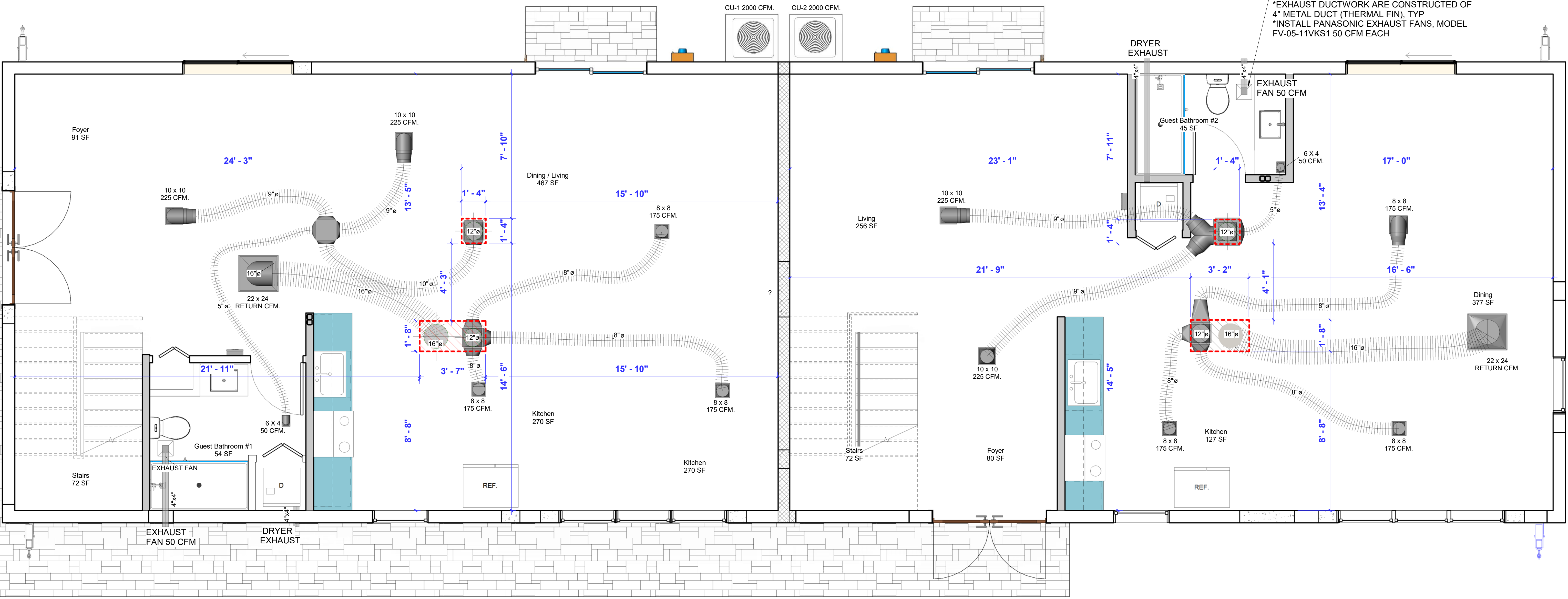
- ARCHITECTURAL
1. DO NOT SCALE DRAWINGS. REFER TO ARCHITECTURAL DRAWINGS AND REFLECTED CEILING PLANS FOR EXACT LOCATION OF DOORS, WINDOWS, CEILING DIFFUSERS, ETC.
 2. LIGHT FIXTURE LOCATIONS TAKE PRECEDENCE OVER DIFFUSER AND GRILLE LOCATIONS. LOCATE DIFFUSERS AND GRILLES TO ACCOMMODATE LIGHTING LAYOUT.
 3. REFER TO ARCHITECTURAL FLOOR PLANS FOR LOCATION AND RATING OF ALL FIRE WALLS.

NOTE:
 Building Code: FBC 2020 7th
 Occupancy Type: R-3
 Type of Construction: III-B
 Classification of Work:
 New construction

NOTE:
 BLOWER DOOR TEST REQUIRED.

NOTE: CONDENSING UNITS ON CONCRETE PADS REQUIRE TO BE ELEVATED AT BASE FLOOD ELEVATION (BFE+1 FOOT) PLUS ONE FOOT. FMC 301.16

INSTALL NEW EXHAUST DUCTWORK THROUGH THE WALL WITH WALLCAPS AND WMS.
 *EXHAUST DUCTWORK ARE CONSTRUCTED OF 4" METAL DUCT (THERMAL FIN), TYP
 *INSTALL PANASONIC EXHAUST FANS, MODEL FV-05-11VKS1 50 CFM EACH



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SW #TH STREET
 ##### BEACH, FL #####

OWNER: ### SW #TH ST
 ##### BEACH INC.
 DUPLEX DEVELOPMENT

**1ST FLOOR
 PROPOSED
 MECHANICAL
 PLAN**

09/06/2022 Scale 3/8" = 1'-0"

1ST FLOOR PROPOSED MECHANICAL PLAN
 3/8" = 1'-0"

SCOPE OF WORK:

1. INSTALL NEW AHU-1 5-TON A/C UNIT IN ATTIC AREA TO SERVICE PROPOSED DUPLEX UNIT 1, AS SHOWN
2. INSTALL NEW AHU-2 5-TON A/C UNIT IN ATTIC AREA TO SERVICE PROPOSED DUPLEX UNIT 2, AS SHOWN
3. INSTALL NEW CU-1 5-TON A/C UNIT OUTSIDE, NEXT TO PATIO AREA TO SERVICE PROPOSED DUPLEX UNIT 1, AS SHOWN
4. INSTALL NEW CU-2 5-TON A/C UNIT OUTSIDE, NEXT TO PATIO AREA TO SERVICE PROPOSED DUPLEX UNIT 2, AS SHOWN
5. INSTALL NEW A/C SUPPLY & RETURN DUCTWORK FOR AHU 1 AND AHU 2, AS SHOWN
6. INSTALL NEW A/C GRILLES AND DIFFUSERS FOR AHU-1 UNIT & AHU-2 UNIT, AS SHOWN.
7. A/C DUCTWORK SHALL BE GLASS FIBER DUCTWORK (R-6)
8. INSTALL NEW METAL EXHAUST DUCTWORK THROUGH ALL BATHROOMS WALL WITH WALLCAP AND WMS
9. INSTALL NEW EXHAUST DUCTWORK & FAN (50 CFM MIN) IN ALL BATHROOMS, AS SHOWN.
10. INSTALL NEW DRYERS, AND NEW EXHAUST CONNECTIONS, AS SHOWN.

HVAC GENERAL NOTES:

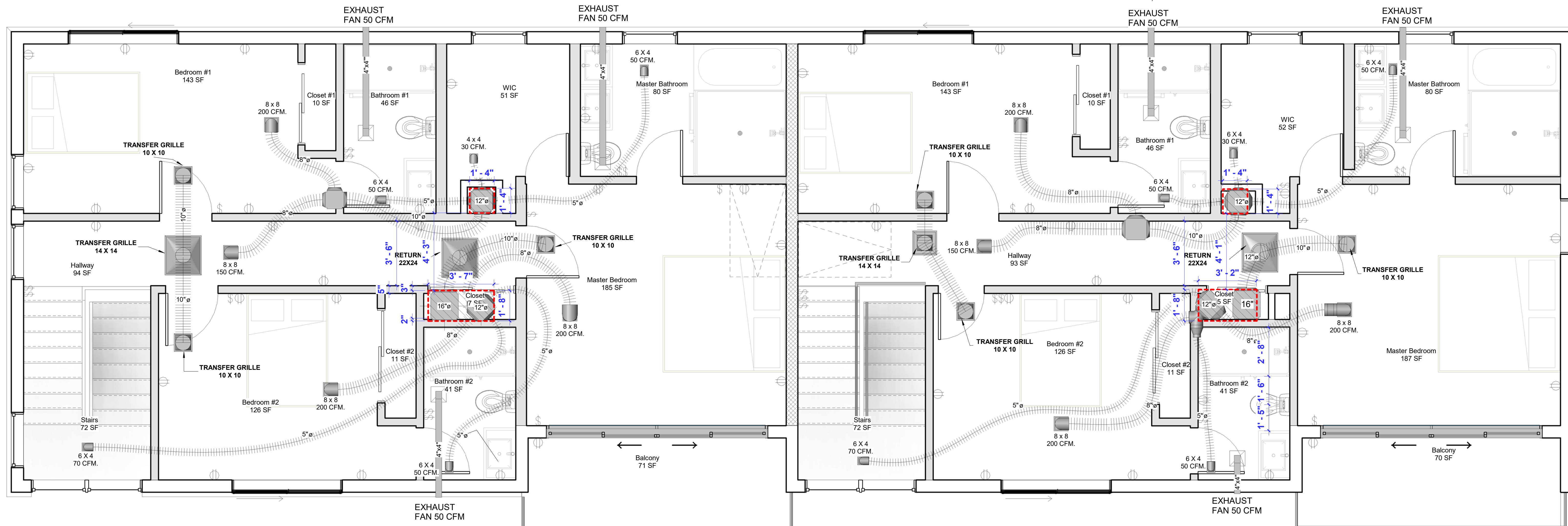
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2. PIPING AND DUCTWORK ROUTING SHOWN IS SCHEMATIC. HVAC CONTRACTOR SHALL PROVIDE ANY ADDITIONAL OFFSETS AND FITTINGS, INCLUDING DIVIDED DUCTS, REQUIRED FOR PROPER INSTALLATION AND TO MAINTAIN CLEARANCES AS ENCOUNTERED IN THE FIELD.
3. FURNISH ALL LABOR, MATERIAL AND EQUIPMENT REQUIRED FOR THE COMPLETE INSTALLATION AND OPERATION OF ALL SYSTEMS IN THIS SECTION OF WORK IN ACCORDANCE WITH ALL APPLICABLE CODES, ASHRAE, SMACNA, NFPA, EPA, ETC.
4. PRIOR TO INSTALLATION OF ASSOCIATED WORK, INSTALLER SHALL MEET AT PROJECT SITE WITH GENERAL CONTRACTOR, INSTALLER OF EACH COMPONENT OF ASSOCIATED WORK, INSPECTION AND TESTING AGENCY REPRESENTATIVES (IF ANY), INSTALLERS OF OTHER WORK REQUIRING COORDINATION WITH WORK OF THIS SECTION AND ARCHITECT / OWNER FOR PURPOSE OF COORDINATING LOCATIONS OF PROPOSED SYSTEMS, REVIEWING MATERIAL SELECTIONS, AND PROCEDURES TO BE FOLLOWED IN PERFORMING THE WORK IN COMPLIANCE WITH REQUIREMENTS SPECIFIED.
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6. ALL PIPING, DUCTS, VENTS, ETC. EXTENDING THROUGH WALLS AND CEILING SHALL BE FLASHED AND COUNTERFLASHED IN A WATERPROOF MANNER.
7. MAINTAIN MINIMUM OF TEN (10) FEET BETWEEN OUTDOOR AIR INTAKES AND EXHAUST FAN DISCHARGE, PLUMBING VENTS, ETC.
8. REFER TO PLUMBING DRAWINGS FOR LOCATION AND ROUTING OF ALL CONDENSATE DRAIN LINE CONNECTION POINTS, GAS PIPING, AND WATER HEATER COMBUSTION / EXHAUST AIR DUCTWORK.
9. CONTRACTOR SHALL BE LICENSED TO PERFORM MECHANICAL WORK IN THE MUNICIPALITY IN WHICH THE PROJECT IS LOCATED.
10. CONTRACTOR SHALL GUARANTEE ALL WORK PERFORMED AND MATERIALS FURNISHED, AGAINST DEFECTS IN MATERIALS AND WORKMANSHIP FOR A PERIOD OF ONE (1) YEAR FROM THE DATE OF THE OWNER'S FINAL ACCEPTANCE OF THE WORK. ANY DEFECTS SHALL BE RECTIFIED WITHOUT ANY ADDITIONAL COST TO THE OWNER.
11. WORK SHALL COMPLY WITH THE LATEST REVISIONS OF FLORIDA STATE BUILDING CODE, MECHANICAL CODE, FIRE PROTECTION AND CONSTRUCTION CODE, ENERGY CONSERVATION CODE, AND ANY LOCAL CODES OR REGULATIONS THAT APPLY.

HVAC GENERAL NOTES:

- ARCHITECTURAL
1. DO NOT SCALE DRAWINGS. REFER TO ARCHITECTURAL DRAWINGS AND REFLECTED CEILING PLANS FOR EXACT LOCATION OF DOORS, WINDOWS, CEILING DIFFUSERS, ETC.
 2. LIGHT FIXTURE LOCATIONS TAKE PRECEDENCE OVER DIFFUSER AND GRILLE LOCATIONS. LOCATE DIFFUSERS AND GRILLES TO ACCOMMODATE LIGHTING LAYOUT.
 3. REFER TO ARCHITECTURAL FLOOR PLANS FOR LOCATION AND RATING OF ALL FIRE WALLS.

NOTE:
 Building Code: FBC 2020 7th
 Occupancy Type: R-3
 Type of Construction: III
 Classification of Work:
 New construction

INSTALL NEW EXHAUST DUCTWORK THROUGH THE WALL WITH WALLCAPS AND WMS.
 *EXHAUST DUCTWORK ARE CONSTRUCTED OF 4" METAL DUCT (THERMAL FIN), TYP
 *INSTALL PANASONIC EXHAUST FANS, MODEL FV-05-11VKS1 50 CFM EACH



2ND FLOOR PROPOSED MECHANICAL PLAN
 3/8" = 1'-0"

DESCRIPTION

DATE

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SW #TH STREET
 ##### BEACH, FL #####

OWNER: ## SW #TH ST
 ##### BEACH INC.
 DUPLEX DEVELOPMENT

2ND FLOOR
 PROPOSED
 MECHANICAL
 PLAN

09/06/2022 Scale 3/8" = 1'-0"

M-2

SCOPE OF WORK:

1. INSTALL NEW AHU-1 5-TON A/C UNIT IN ATTIC AREA TO SERVICE PROPOSED DUPLEX UNIT 1, AS SHOWN
2. INSTALL NEW AHU-2 5-TON A/C UNIT IN ATTIC AREA TO SERVICE PROPOSED DUPLEX UNIT 2, AS SHOWN
3. INSTALL NEW CU-1 5-TON A/C UNIT OUTSIDE, NEXT TO PATIO AREA TO SERVICE PROPOSED DUPLEX UNIT 1, AS SHOWN
4. INSTALL NEW CU-2 5-TON A/C UNIT OUTSIDE, NEXT TO PATIO AREA TO SERVICE PROPOSED DUPLEX UNIT 2, AS SHOWN
5. INSTALL NEW A/C SUPPLY & RETURN DUCTWORK FOR AHU 1 AND AHU 2, AS SHOWN
6. INSTALL NEW A/C GRILLES AND DIFFUSERS FOR AHU-1 UNIT & AHU-2 UNIT, AS SHOWN.
7. A/C DUCTWORK SHALL BE GLASS FIBER DUCTWORK (R-8)
8. INSTALL NEW METAL EXHAUST DUCTWORK THROUGH ALL BATHROOMS WALL WITH WALLCAP AND WMS
9. INSTALL NEW EXHAUST DUCTWORK & FAN (50 CFM MIN) IN ALL BATHROOMS, AS SHOWN.
10. INSTALL NEW DRYERS, AND NEW EXHAUST CONNECTIONS, AS SHOWN.

HVAC GENERAL NOTES:

1. THE HVAC CONTRACTOR SHALL VISIT THE JOB SITE AND BE FAMILIAR WITH ALL PROJECT CONDITIONS PRIOR TO FABRICATING DUCTWORK, EQUIPMENT, ETC. NO ALLOWANCES WILL BE MADE FOR CONTRACTOR'S UNFAMILIARITY WITH PROJECT CONDITIONS.
2. PIPING AND DUCTWORK ROUTING SHOWN IS SCHEMATIC. HVAC CONTRACTOR SHALL PROVIDE ANY ADDITIONAL OFFSETS AND FITTINGS, INCLUDING DIVIDED DUCTS, REQUIRED FOR PROPER INSTALLATION AND TO MAINTAIN CLEARANCES AS ENCOUNTERED IN THE FIELD.
3. FURNISH ALL LABOR, MATERIAL AND EQUIPMENT REQUIRED FOR THE COMPLETE INSTALLATION AND OPERATION OF ALL SYSTEMS IN THIS SECTION OF WORK IN ACCORDANCE WITH ALL APPLICABLE CODES, ASHRAE, SMACNA, NFPA, EPA, ETC.
4. PRIOR TO INSTALLATION OF ASSOCIATED WORK, INSTALLER SHALL MEET AT PROJECT SITE WITH GENERAL CONTRACTOR, INSTALLER OF EACH COMPONENT OF ASSOCIATED WORK, INSPECTION AND TESTING AGENCY REPRESENTATIVES (IF ANY), INSTALLERS OF OTHER WORK REQUIRING COORDINATION WITH WORK OF THIS SECTION AND ARCHITECT / OWNER FOR PURPOSE OF COORDINATING LOCATIONS OF PROPOSED SYSTEMS, REVIEWING MATERIAL SELECTIONS, AND PROCEDURES TO BE FOLLOWED IN PERFORMING THE WORK IN COMPLIANCE WITH REQUIREMENTS SPECIFIED.
5. COORDINATE INSTALLATION AND LOCATIONS OF DUCTWORK AND PIPING WITH BUILDING STRUCTURE, PLUMBING PIPING, ELECTRICAL CONDUIT, LIGHTING, ETC. PRIOR TO PURCHASING OR INSTALLING EQUIPMENT AND MATERIALS.
6. ALL PIPING, DUCTS, VENTS, ETC. EXTENDING THROUGH WALLS AND CEILING SHALL BE FLASHED AND COUNTERFLASHED IN A WATERPROOF MANNER.
7. MAINTAIN MINIMUM OF TEN (10) FEET BETWEEN OUTDOOR AIR INTAKES AND EXHAUST FAN DISCHARGE, PLUMBING VENTS, ETC.
8. REFER TO PLUMBING DRAWINGS FOR LOCATION AND ROUTING OF ALL CONDENSATE DRAIN LINE CONNECTION POINTS, GAS PIPING, AND WATER HEATER COMBUSTION / EXHAUST AIR DUCTWORK.
9. CONTRACTOR SHALL BE LICENSED TO PERFORM MECHANICAL WORK IN THE MUNICIPALITY IN WHICH THE PROJECT IS LOCATED.
10. CONTRACTOR SHALL GUARANTEE ALL WORK PERFORMED AND MATERIALS FURNISHED, AGAINST DEFECTS IN MATERIALS AND WORKMANSHIP FOR A PERIOD OF ONE (1) YEAR FROM THE DATE OF THE OWNER'S FINAL ACCEPTANCE OF THE WORK. ANY DEFECTS SHALL BE RECTIFIED WITHOUT ANY ADDITIONAL COST TO THE OWNER.
11. WORK SHALL COMPLY WITH THE LATEST REVISIONS OF FLORIDA STATE BUILDING CODE, MECHANICAL CODE, FIRE PROTECTION AND CONSTRUCTION CODE, ENERGY CONSERVATION CODE, AND ANY LOCAL CODES OR REGULATIONS THAT APPLY.

HVAC GENERAL NOTES:

- ARCHITECTURAL
1. DO NOT SCALE DRAWINGS. REFER TO ARCHITECTURAL DRAWINGS AND REFLECTED CEILING PLANS FOR EXACT LOCATION OF DOORS, WINDOWS, CEILING DIFFUSERS, ETC.
 2. LIGHT FIXTURE LOCATIONS TAKE PRECEDENCE OVER DIFFUSER AND GRILLE LOCATIONS. LOCATE DIFFUSERS AND GRILLES TO ACCOMMODATE LIGHTING LAYOUT.
 3. REFER TO ARCHITECTURAL FLOOR PLANS FOR LOCATION AND RATING OF ALL FIRE WALLS.

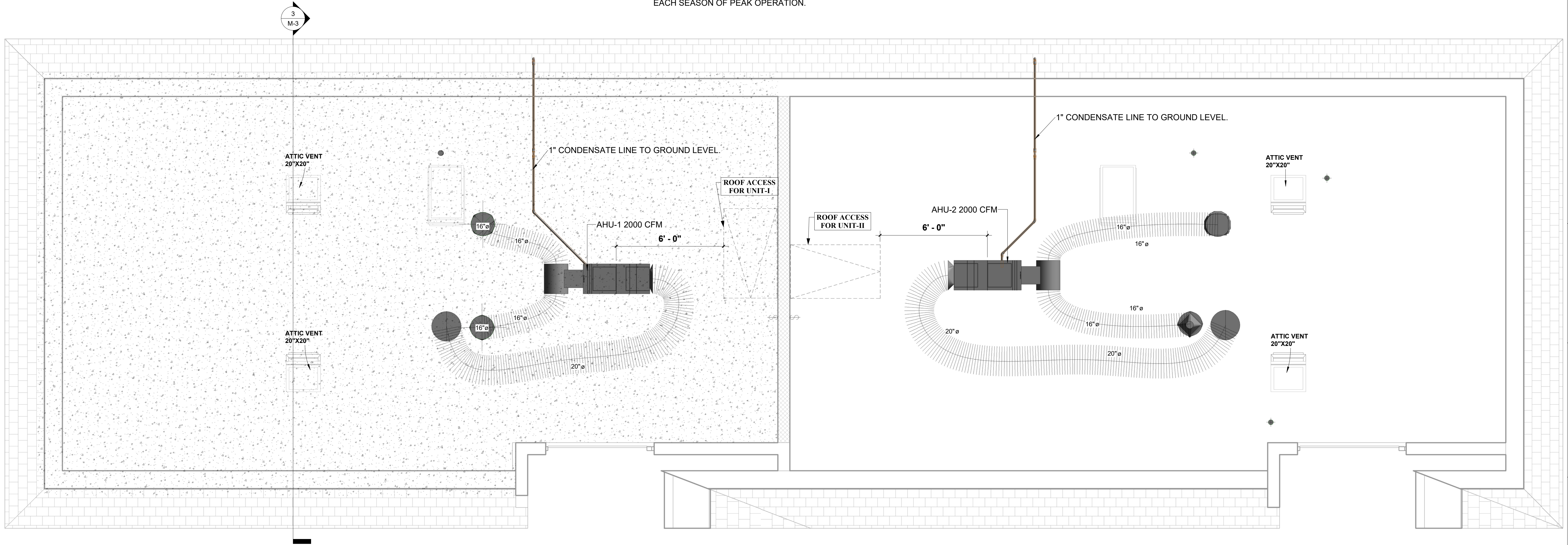
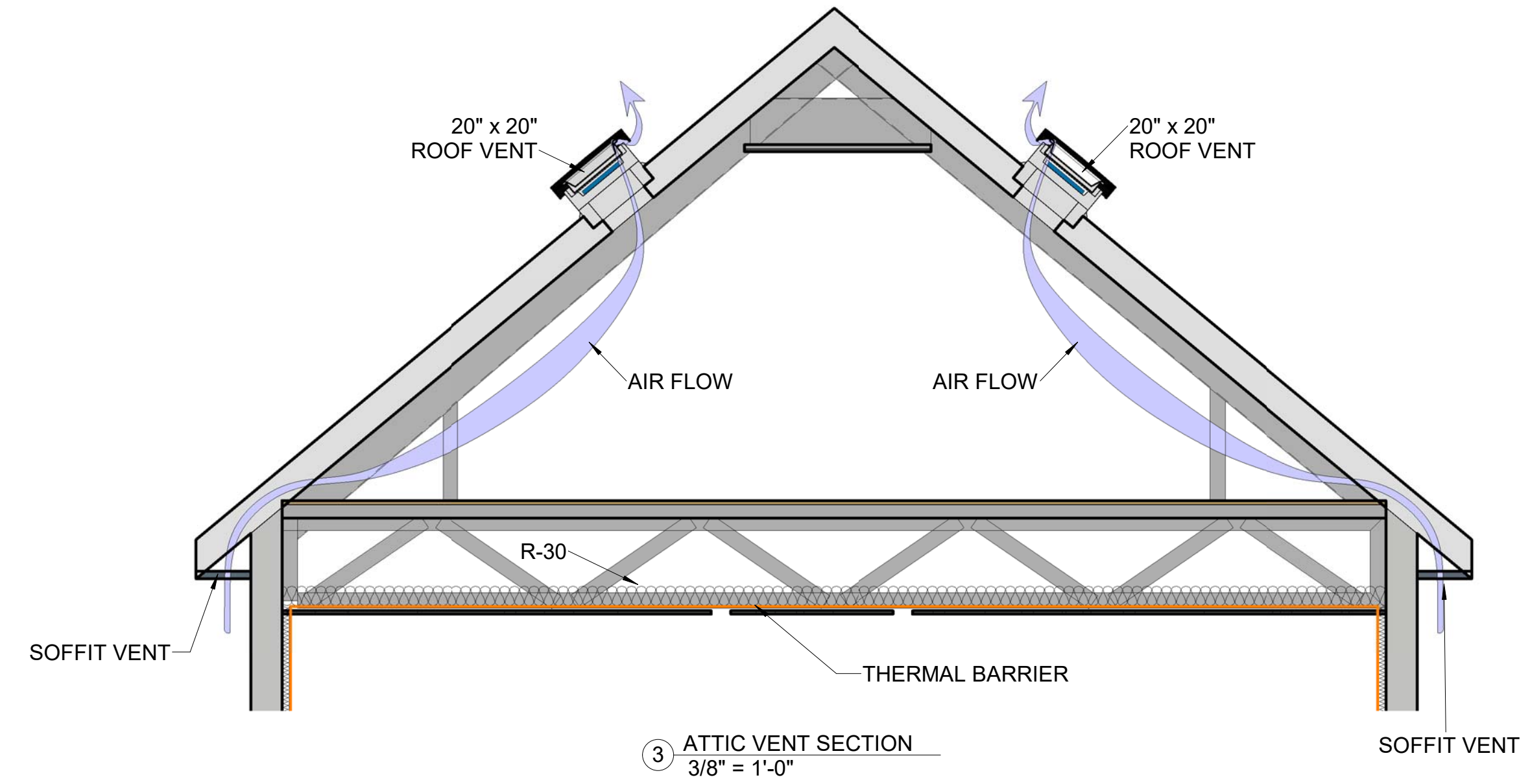
NOTE:
 Building Code: FBC 2020 7th
 Occupancy Type: R-3
 Type of Construction: III-B
 Classification of Work:
 New construction

NOTE:
PER FBC EC R403.3.6, FORM 405-2020 ALLOWS AIR HANDLERS IN ATTICS WITH THE FOLLOWING RESTRICTIONS:

1. THE SERVICE PANEL OF THE EQUIPMENT IS LOCATED WITHIN 6 FEET OF AN ATTIC ACCESS.
2. A DEVICE IS INSTALLED TO ALERT THE OWNER OR SHUT DOWN THE UNIT WHEN THE CONDENSATION DRAIN IS NOT WORKING PROPERLY.
3. THE ATTIC ACCESS OPENING IS OF SUFFICIENT SIZE TO REPLACE THE AIR HANDLER.
4. A NOTICE IS POSTED ON THE ELECTRIC SERVICE PANEL INDICATING TO THE HOMEOWNER THAT THE AIR HANDLER IS LOCATED IN THE ATTIC. SAID NOTICE SHALL BE IN ALL CAPITALS, IN 16-POINT TYPE, WITH THE TITLE AND FIRST PARAGRAPH IN BOLD:

NOTICE TO HOMEOWNER:

A PART OF YOUR AIR-CONDITIONING SYSTEM, THE AIR HANDLER, IS LOCATED IN THE ATTIC. FOR PROPER, EFFICIENT AND ECONOMIC OPERATION OF THE AIRCONDITIONING SYSTEM, YOU MUST ENSURE THAT REGULAR MAINTENANCE IS PERFORMED. YOUR AIR-CONDITIONING SYSTEM IS EQUIPPED WITH ONE OR BOTH OF THE FOLLOWING: (1) A DEVICE THAT WILL ALERT YOU WHEN THE CONDENSATION DRAIN IS NOT WORKING PROPERLY OR (2) A DEVICE THAT WILL SHUT DOWN THE SYSTEM WHEN THE CONDENSATION DRAIN IS NOT WORKING. TO LIMIT POTENTIAL DAMAGE TO YOUR HOME, AND TO AVOID DISRUPTION OF SERVICE, IT IS RECOMMENDED THAT YOU ENSURE PROPER WORKING ORDER OF THESE DEVICES BEFORE EACH SEASON OF PEAK OPERATION.



ATTIC FLOOR PROPOSED MECHANICAL PLAN
 1 3/8" = 1'-0"

DESCRIPTION

DATE

REV

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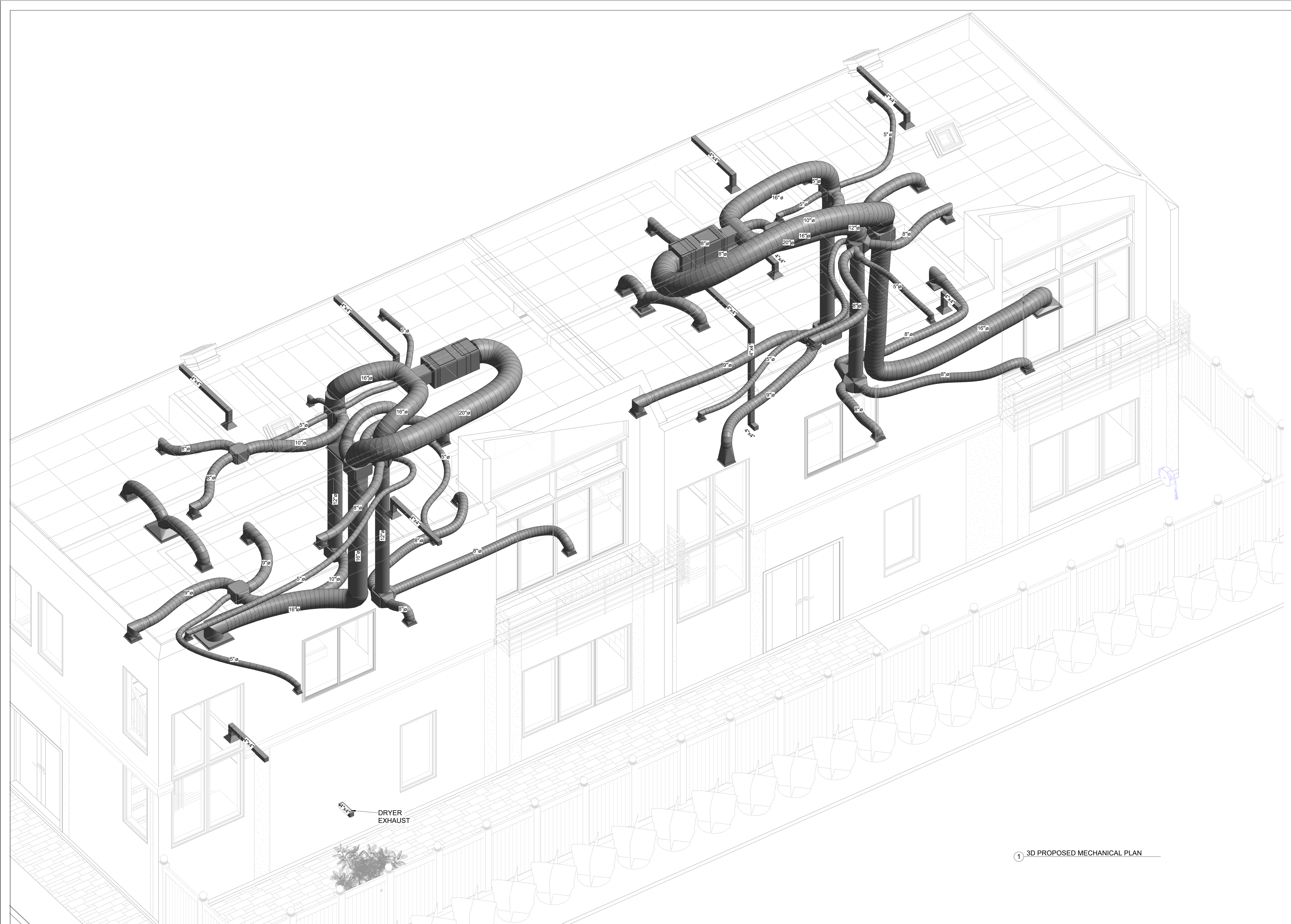
SW #TH STREET
 ##### BEACH, FL #####

OWNER: ### SW #TH ST
 ##### BEACH INC.
 DUPLEX DEVELOPMENT

**ATTIC FLOOR
 PROPOSED
 MECHANICAL
 PLAN**

09/06/2022 Scale 3/8" = 1'-0"

M-3



REV	DATE	DESCRIPTION

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SW #TH STREET
 ##### BEACH, FL #####

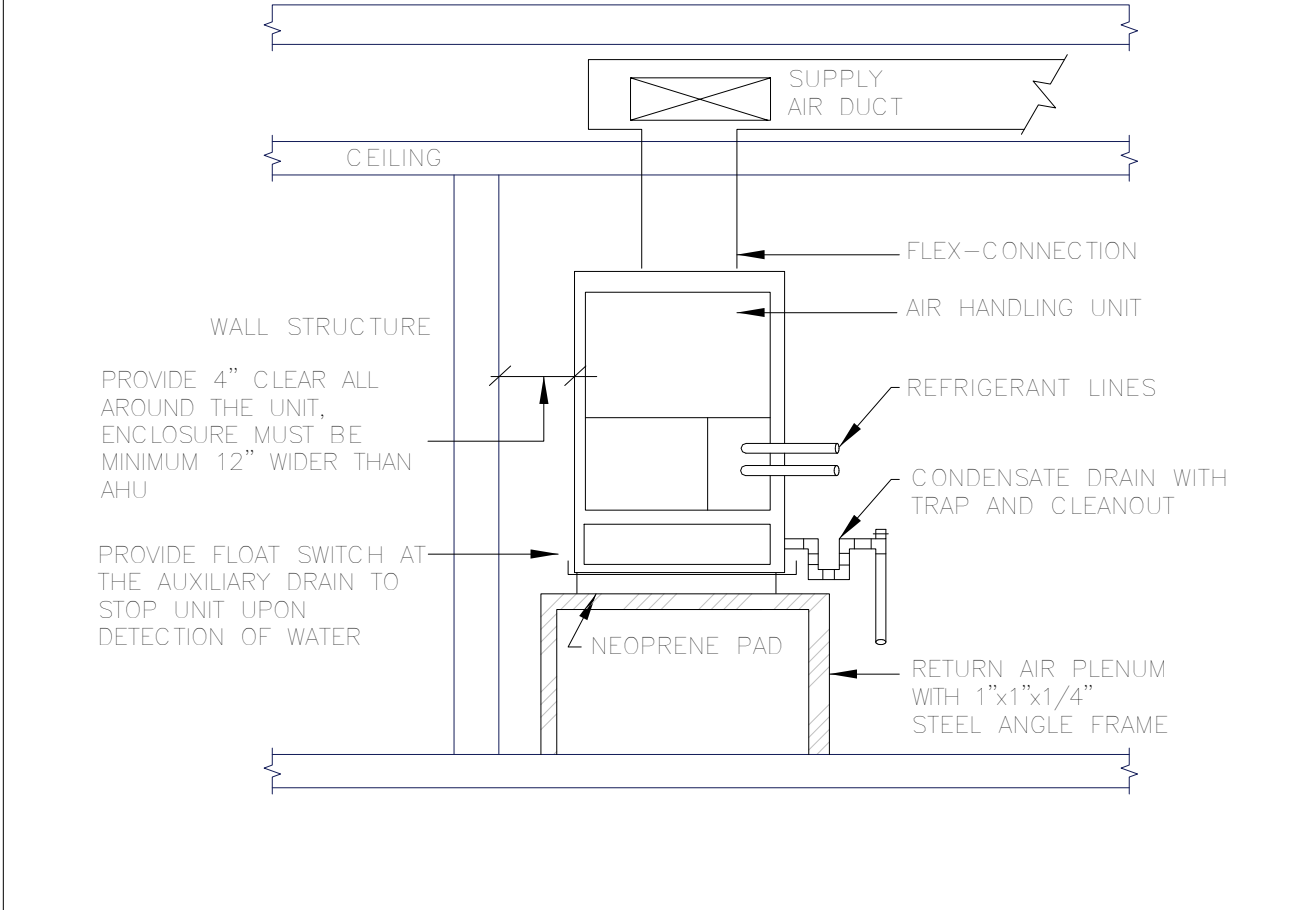
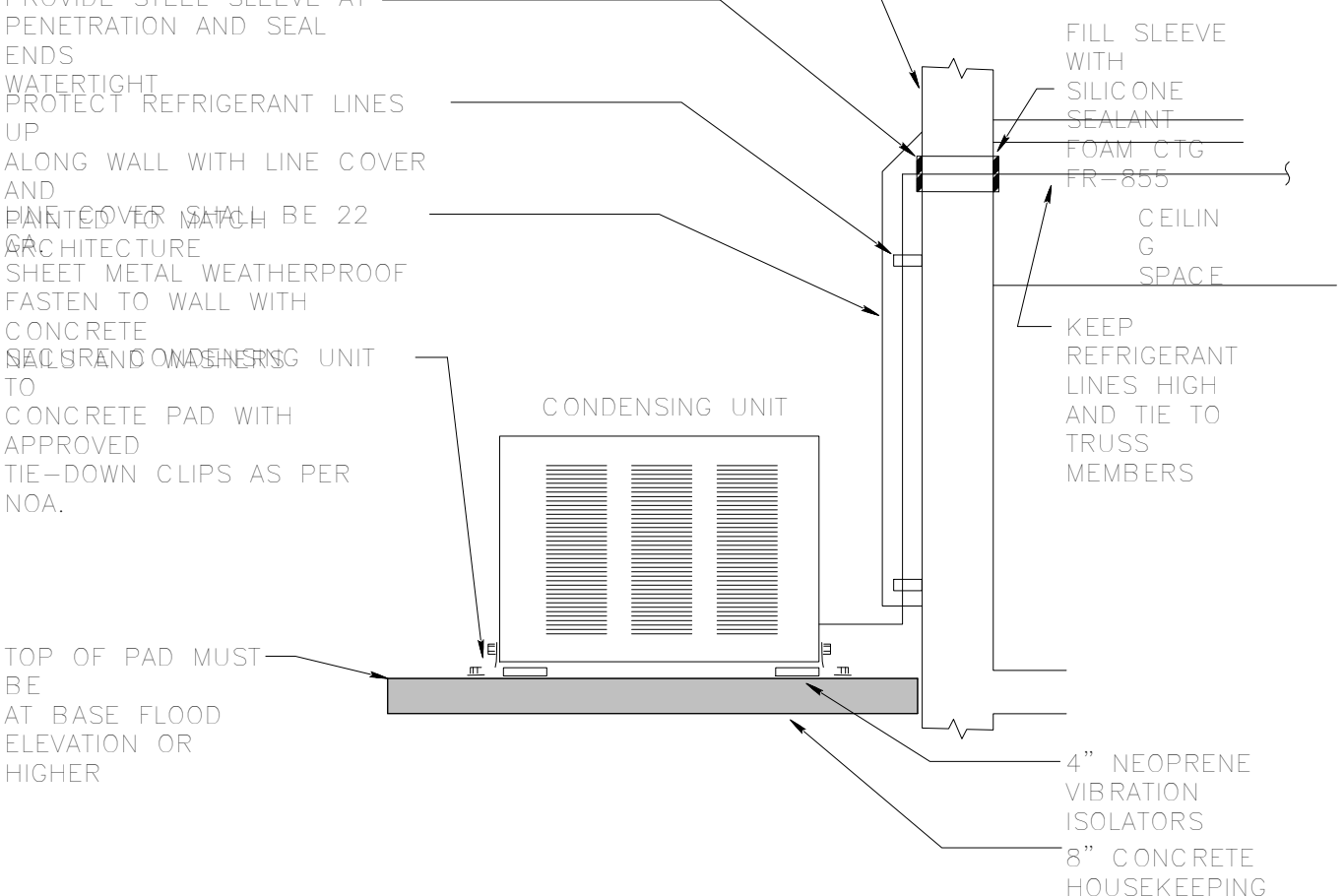
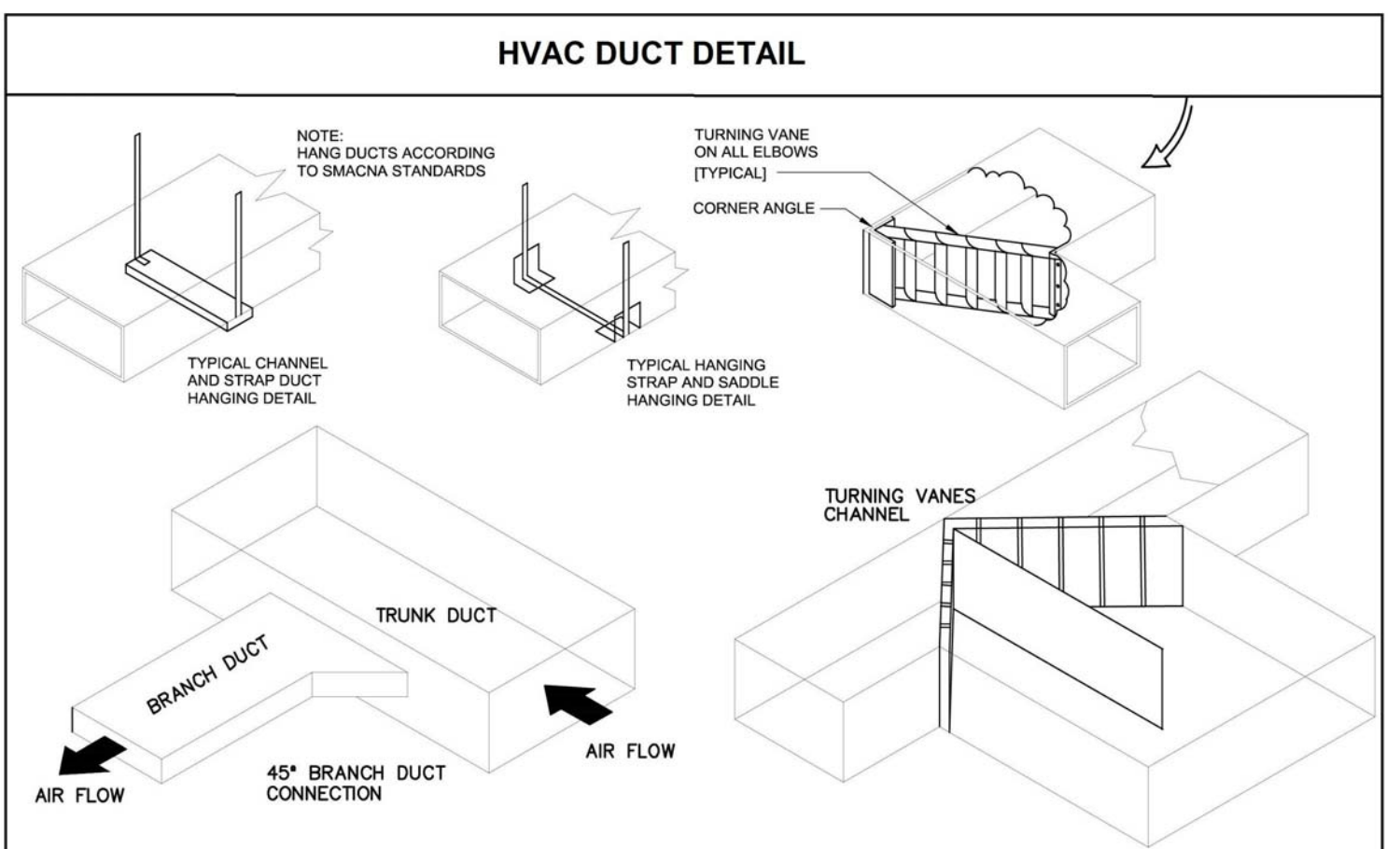
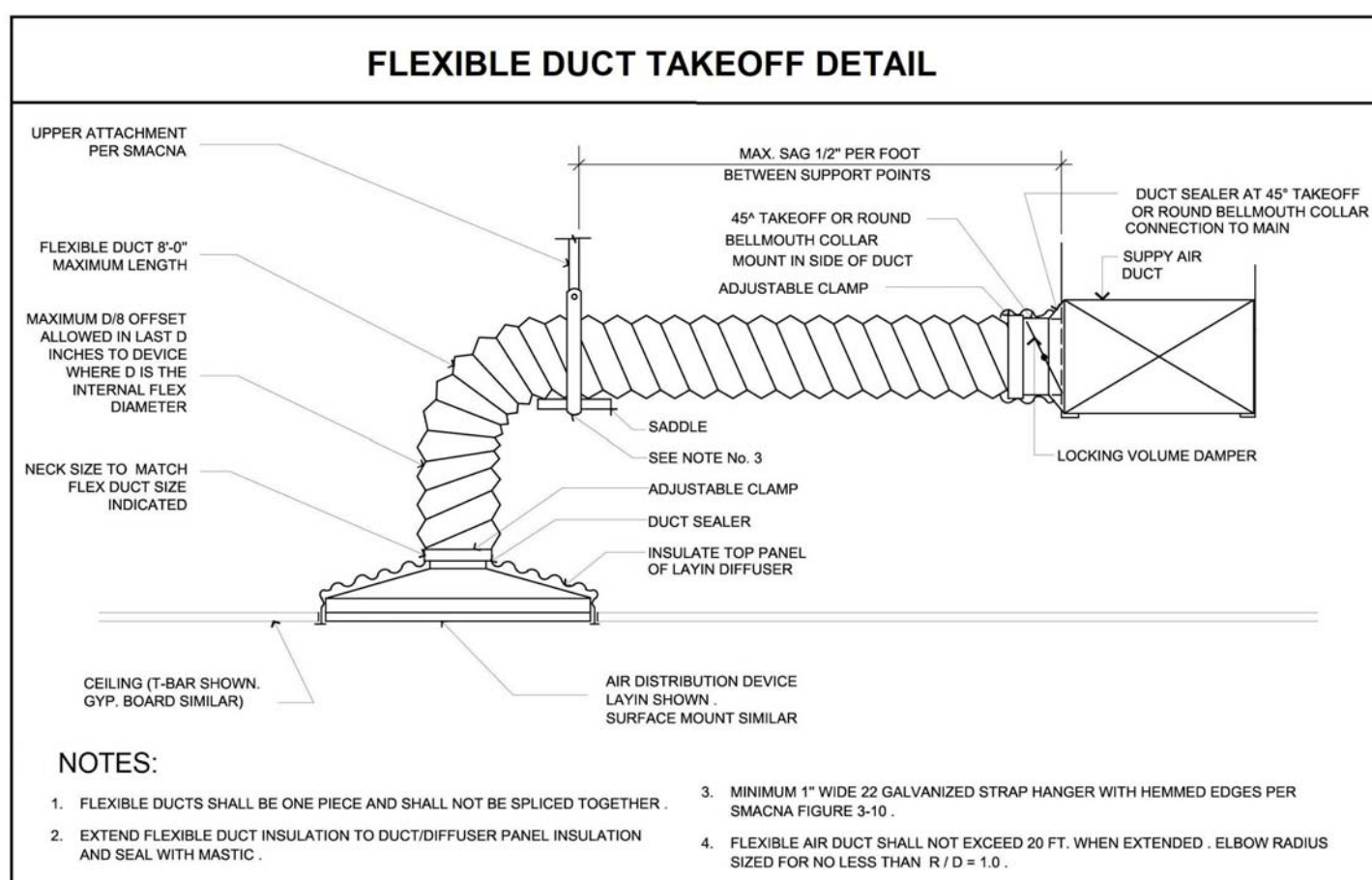
OWNER: ### SW #TH ST
 ##### BEACH INC.
 DUPLEX DEVELOPMENT

3D PROPOSED MECHANICAL PLAN

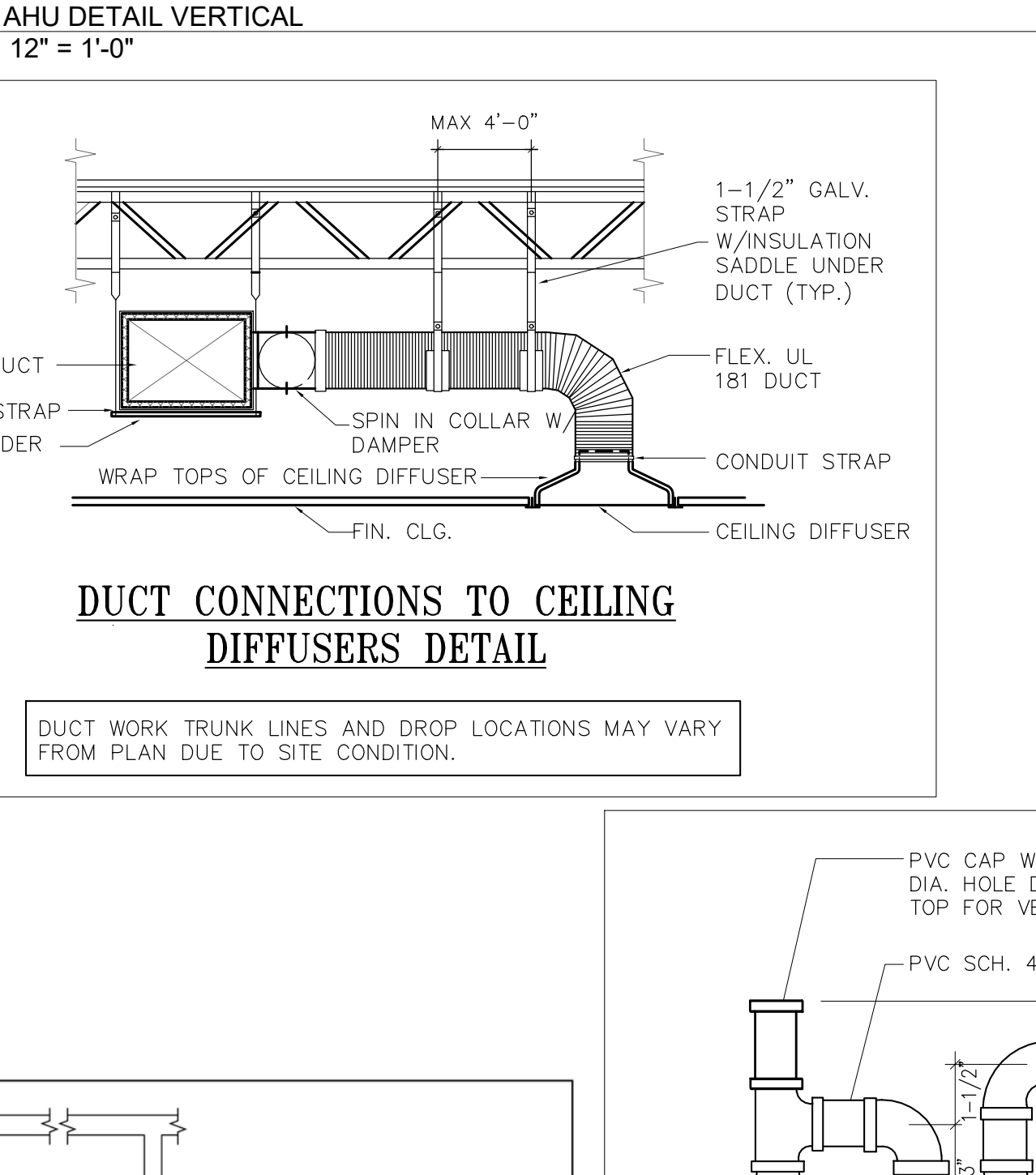
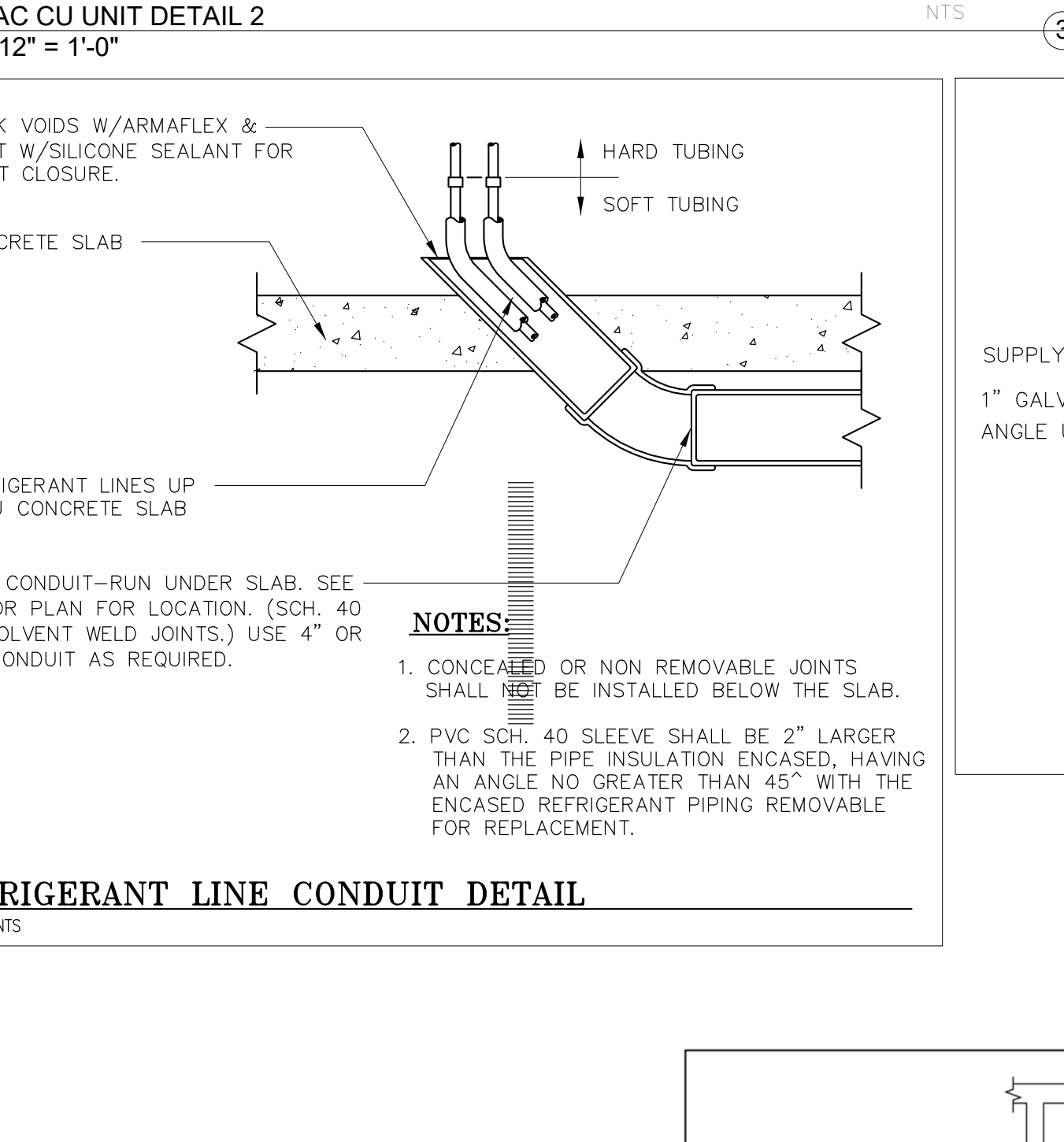
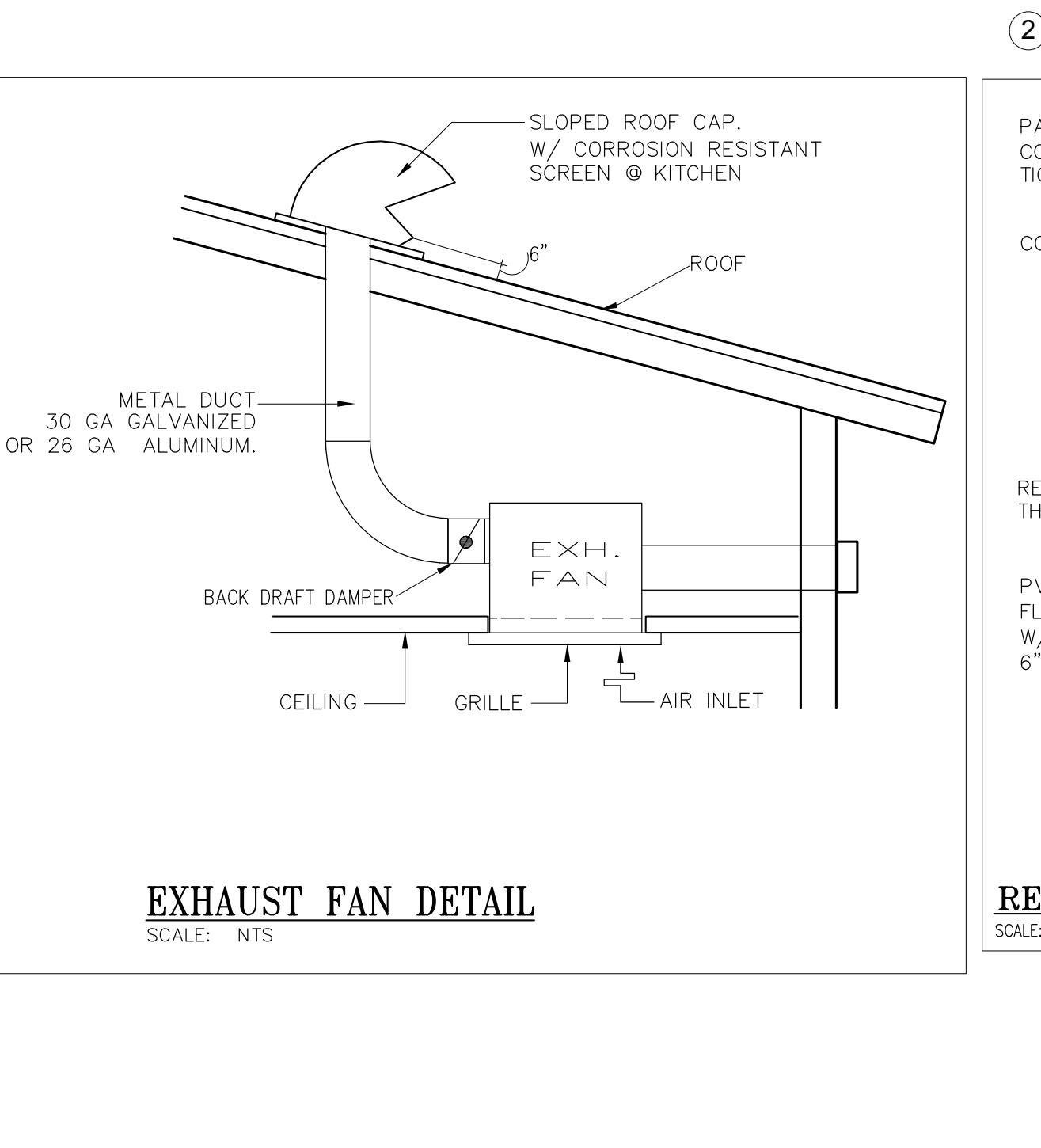
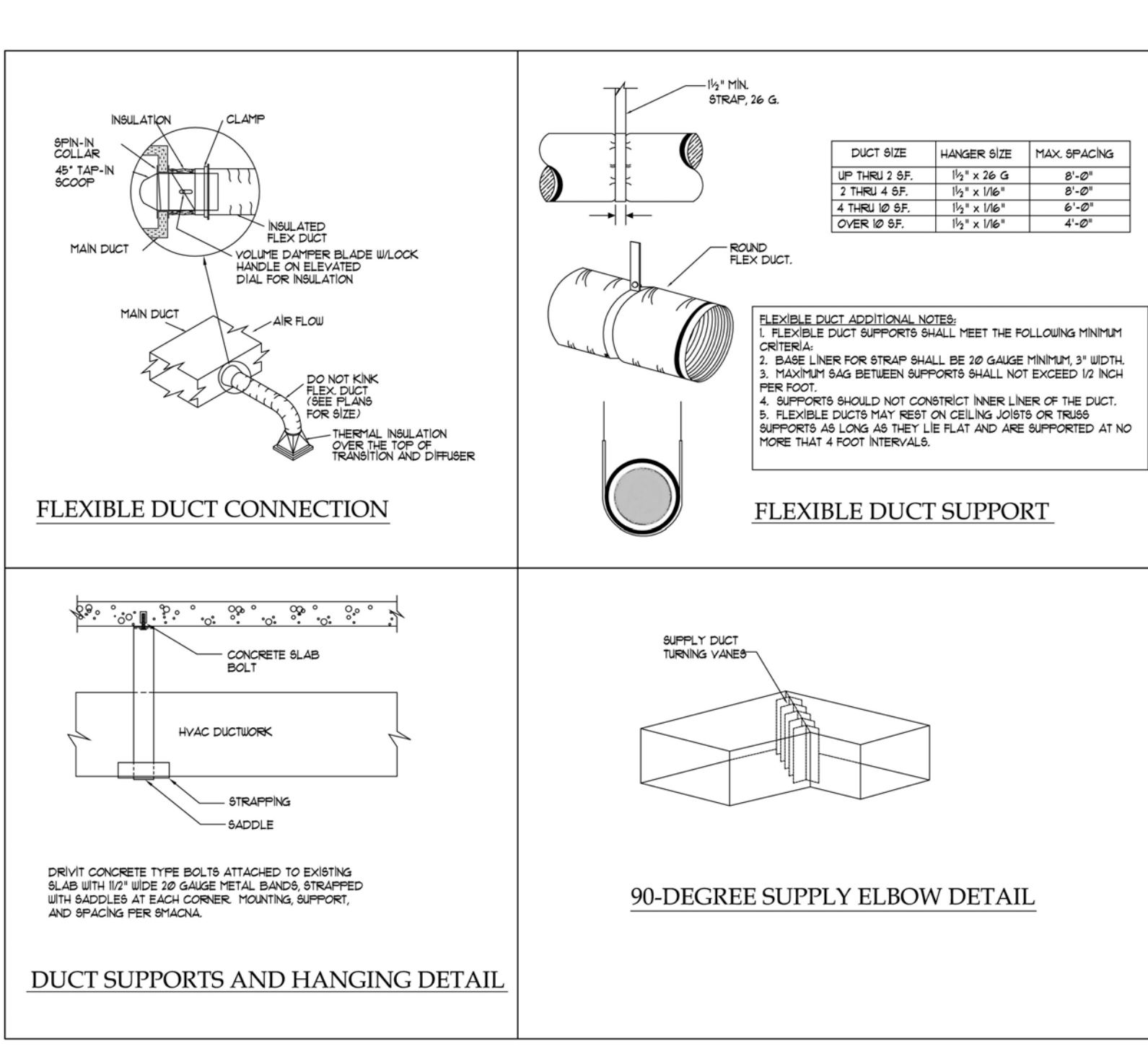
09/06/2022 Scale

M-4

1 3D PROPOSED MECHANICAL PLAN



MECHANICAL - DUCT DETAILS
1/4" = 1'-0"



Grille tech Inc. PRODUCT SPECIFICATIONS

STANDARD CONSTRUCTION

FRAME: 6063-T5 EXTRUDED ALUMINUM. STEEL PATTERN CONTROLLERS. FRAME TYPE A: SURFACE MOUNTING (SCREW HOLES). FRAME TYPE B: DUCT MOUNTING (NO SCREW HOLES).

BLADES: STEEL PATTERN CONTROLLERS CHANGE DIRECTION AND VOLUME OF AIRFLOW.

FINISH: PATTERN CONTROLLER: BLACK POWDER COAT (STANDARD). DIFFUSER FACE: SKY-WHITE.

AKALTA 100% POLYESTER POWDER COATING GIVES AN ATTRACTIVE BRIGHT WHITE FINISH AND PROVIDES ADDITIONAL PROTECTION FROM AGING AND WEAR.

OPTIONS: MODELS LPB, LPB4 AND LPB8 PLenums ARE AVAILABLE IN: 24", 36", 48" AND 60". NOMINAL LENGTHS UP TO 4 SLOTS. MULTIPLE SECTIONS AVAILABLE WITH OPEN END OPTION.

Open/Hidden	Open/Hidden	Hidden/Hidden	Flanged/Flanged	Open/Flanged	Hidden/Flanged
C O	C O	C O	C O	C O	C O
D D	D1/2"	D1/2"	D1/2"	D1/2"	D1/2"

D = Duct Size C = End Cap Position O = Overall Length

DUCT WIDTH DIMENSION ("DW")			END VIEW
NO. OF SLOTS	LS50/0/50	LS75/0/75	
1	1-5/8"	1-7/8"	
2	2-7/8"	3-3/8"	
3	4-1/8"	4-7/8"	
4	5-5/8"	6-3/4"	
5	6-7/8"	7-7/8"	
6	7-7/8"	8-3/8"	
7	9-1/8"	10-7/8"	

MODEL LS/LR
LINEAR SLOT DIFFUSER
FRAME TYPE A AND B

Grille tech Inc. PRODUCT SPECIFICATIONS

STANDARD CONSTRUCTION

FRAME: ROLL FORMED ALUMINUM ASSEMBLED USING CORNER CLIPS TO ASSURE HAIRLINE MITERED CORNERS.

BLADES: TEAR-DROP SHAPE ROLL FORMED ALUMINUM. EACH BLADE IS INDIVIDUALLY ADJUSTABLE (WITHOUT USE OF SPECIAL TOOLS). BLADES ARE SPACED 3/4" ON CENTERS AND ARE MOUNTED ON PRESSURE FITTED POLYPROPYLENE RETAINERS TO ASSURE A QUIET AND RIGID ASSEMBLY.

VANES: VERTICAL BLADES
HM: HORIZONTAL BLADES

DAMPER: MULTI-SHUTTER DAMPER IS EASILY ADJUSTED.

DEPTH: NARROW DEPTH OF DAMPER DESIGN ALLOWS GRILL/DAMPER COMBINATION TO BE USED IN STACKHEADS OF MINIMUM DEPTHS.

GASKET: RUBBER GASKET IN COMPLIANCE WITH FLORIDA STATE BUILDING CODE.

OPTIONAL: MODEL PF PLASTER FRAMES ARE AVAILABLE.

FINISH: SKY-WHITE (STANDARD) MILL FINISH (OPTIONAL)

AKALTA SKY-WHITE 100% POLYESTER POWDER COATING GIVES AN ATTRACTIVE BRIGHT WHITE FINISH AND PROVIDES ADDITIONAL PROTECTION FROM AGING AND WEAR.

SIZES: 4" X 4" MIN
24" X 12" MAX

STANDARD FRAME PROFILE			EXTRUDED FRAME PROFILE		
1-1/4"	3/16"	2-1/4"	1-1/4"	3/16"	2-3/16"
5/8"	1-1/4"	3/16"	5/8"	1-1/4"	3/16"

MODEL VM AND HM
ALUMINUM SINGLE DEFLECTION SUPPLY WITH MULTI-SHUTTER DAMPER

Grille tech Inc. PRODUCT SPECIFICATIONS

STANDARD CONSTRUCTION

FRAME: 0.032" THICK ROLL FORMED ALUMINUM (0.045" THICK EXTRUDED ALUMINUM FOR UNITS WITH EITHER WIDTH OR HEIGHT 30" OR LARGER). FRAME IS ASSEMBLED USING CORNER CLIPS TO ASSURE HAIRLINE MITERED CORNERS.

BLADES: 0.030" THICK ROLL FORMED ALUMINUM. 1-WAY DEFLECTION. ADJUSTABLE CURVE BLADE DESIGN.

VANES: DEFLECTION VANES ARE EASILY SET WITHOUT USE OF SPECIAL TOOLS.

DAMPER: MULTI-SHUTTER DAMPER IS EASILY ADJUSTED.

DEPTH: NARROW DEPTH OF DAMPER DESIGN ALLOWS GRILL/DAMPER COMBINATION TO BE USED IN STACKHEADS OF MINIMUM DEPTHS.

GASKET: RUBBER GASKET IN COMPLIANCE WITH FLORIDA STATE BUILDING CODE.

OPTIONAL: MODEL PF PLASTER FRAMES ARE AVAILABLE.

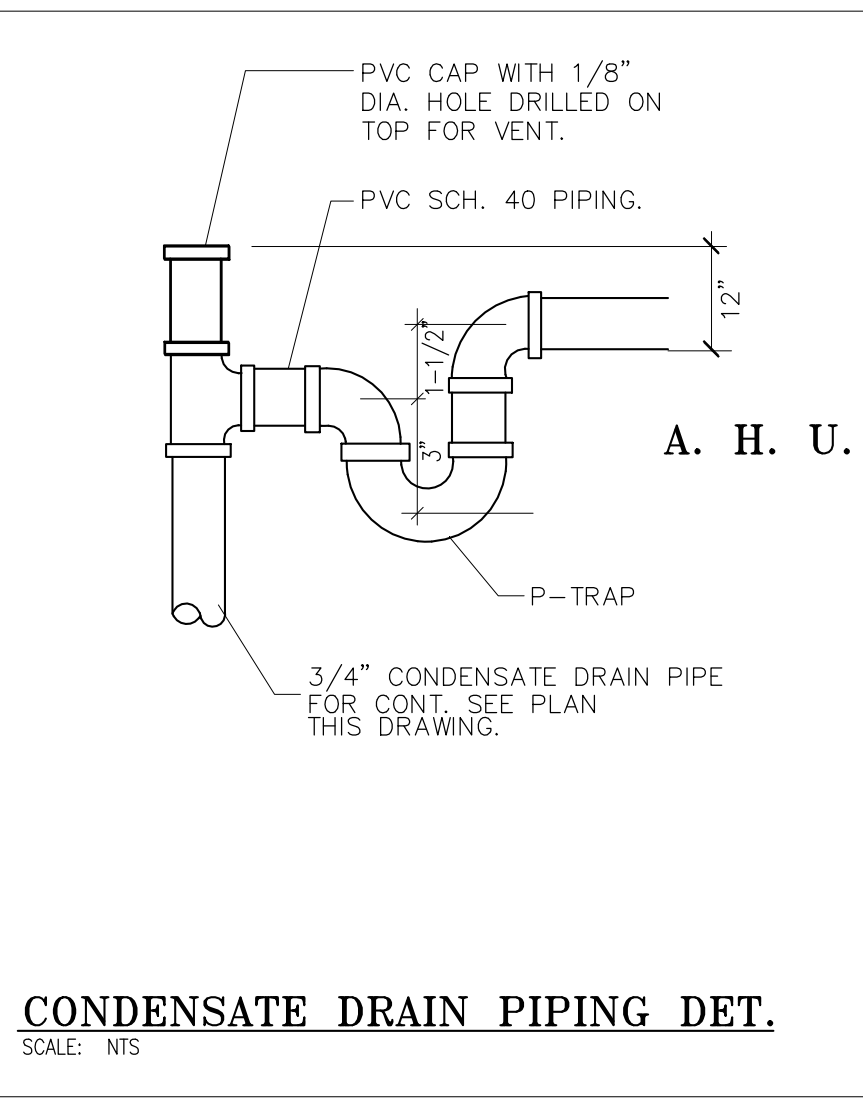
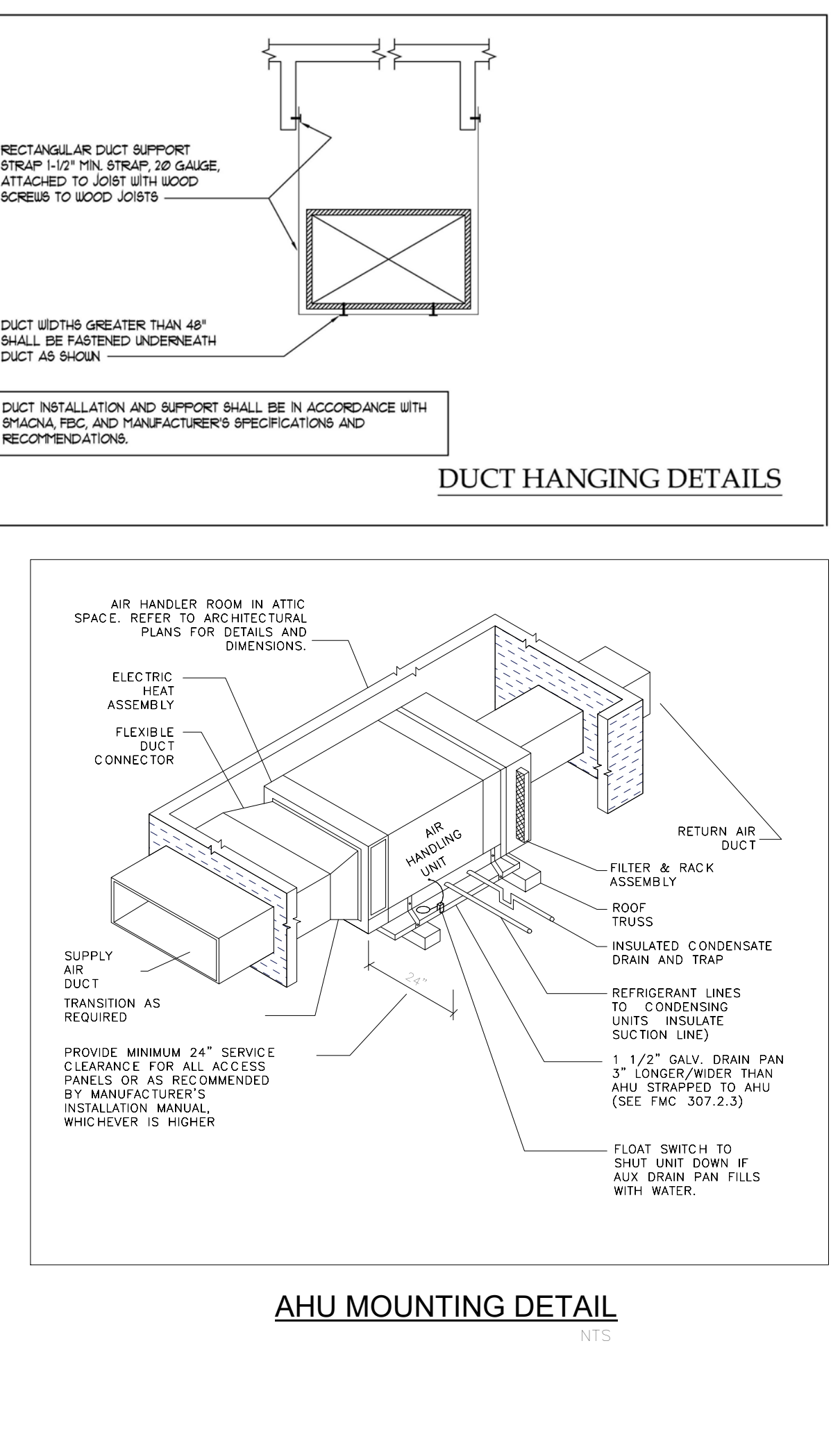
FINISH: SKY-WHITE (STANDARD) MILL FINISH (OPTIONAL)

AKALTA SKY-WHITE 100% POLYESTER POWDER COATING GIVES AN ATTRACTIVE BRIGHT WHITE FINISH AND PROVIDES ADDITIONAL PROTECTION FROM AGING AND WEAR.

SIZES: 4" X 4" MIN
36" X 36" MAX

STANDARD FRAME PROFILE			EXTRUDED FRAME PROFILE		
1-1/4"	3/16"	2-1/4"	1-1/4"	3/16"	2-3/16"
5/8"	1-1/4"	3/16"	5/8"	1-1/4"	3/16"

MODEL CL1M
CURVED BLADE LOUVERED FACE
1-WAY DEFLECTION GRILLE OR REGISTER WITH MULTI-SHUTTER DAMPER



REV	DATE	DESCRIPTION

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SW #TH STREET
BEACH, FL

OWNER: ### SW #TH ST
BEACH INC.
DUPLUX DEVELOPMENT

MECHANICAL PLAN - DETAILS 1

09/06/2022 Scale As Indicated

M-5

CARRIER MODEL # FB4CNP060L00 5 TON, 16 SEER AHRI # 202028438

UNIT	SERIES	ELECTRICAL CHARACTERISTICS	A	B	C	D	E	F	G	H	J	COIL CONFIGURATION SLOPE "A"	SHIPPING WT (LBS) NON TIN-COATED	SHIPPING WT (LBS) TIN-COATED
FB4CNF060	B,C,D	X	53 7/16"	21 1/8"	19 1/4"	19 1/8"	19 1/2"	27 1/4"	26 15/16"	-	-	X	175	175

PHYSICAL DATA

ORDERING NO.	NOMINAL COOLING CAPACITY (Btuh)	DIMENSIONS			SHIPPING WEIGHT
		Height	Width	Depth	
FB4CN(F,P)060(O,T,L)	60,000	53-7/16 in. 1357mm	21-1/8 in. 538mm	22-1/16 in. 560mm	175 lb 79 kg

SPECIFICATIONS

FB4C	60
EVAPORATOR COIL	
Face Area (sq. ft)	5.93
Configuration	
FB4CNF Metering Device (Teflon-rings piston) Puron Refrigerant	TXV (Copper and Tin models only)
FB4CNP Metering Device Puron Refrigerant	TXV (Aluminum models only)
FILTER*	
21-1/2-in (546 mm) X	19-7/8-in (505 mm)
BLOWER ASSEMBLY	
Motor Type (ECM)	Multi-tap ECM
Motor HP	3/4
CFM	1750

*Filter must be field-supplied for FB4C units.



PERFORMANCE DATA

FB4C AIRFLOW PERFORMANCE (CFM)

MODEL & SIZE	BLOWER SPEED	0.10	0.20	0.30	0.40	0.50	0.60
FB4C 060	Tap 5	1897	1867	1836	1808	1774	1736

■ - Airflow above 450 cfm/ton.

NOTES:

- Airflow based upon dry coil at 230v with factory-approved filter and electric heater (2 element heater sizes 042 through 060). For FB4C models, airflow at 208 volts is approximately the same as 230 volts because the multi-tap ECM motor is a constant torque motor. The torque doesn't drop off at the speeds the motor operates.
- To avoid potential for condensate blowing out of drain pan prior to making drain trap. Return static pressure must be less than 0.40 in. wc. Horizontal applications of 042 - 060 sizes must have supply static greater than 0.20 in. wc.
- Airflow above 400 cfm/ton on 048-060 size could result in condensate blowing off coil or splashing out of drain pan.

ESTIMATED SOUND POWER LEVEL (dBA)

FB4C	CONDITIONS		OCTAVE BAND CENTER FREQUENCY*						
	CFM	Ext Static Pressure	63	125	250	500	1000	2000	4000
018	800	0.25	64.7	60.7	56.7	53.7	51.7	49.7	45.7
024	800	0.25	66.0	62.0	58.0	55.0	53.0	51.0	47.0
030	1000	0.25	67.0	63.0	59.0	56.0	54.0	52.0	48.0
036	1200	0.25	67.8	63.8	59.8	56.8	54.8	52.8	48.8
042	1400	0.25	68.4	64.4	60.4	57.4	55.4	53.4	49.4
048	1600	0.25	69.0	65.0	61.0	58.0	56.0	54.0	50.0
060	2000	0.25	70.0	66.0	62.0	59.0	57.0	55.0	51.0

*Estimated sound power levels have been derived using the method described in the 1987 ASHRAE HVAC Systems & Applications Handbook, Chapter 52, p. 52.7.

FB4C AIR DELIVERY PERFORMANCE CORRECTION COMPONENT PRESSURE DROP (in wc) AT INDICATED AIRFLOW (DRY TO WET COIL)

UNIT SIZE	CFM															
	500	600	700	800	900	1000	1100	1200	1300	1400	1500	1600	1700	1800	1900	2000
018	0.034	0.049	0.063	--	--	--	--	--	--	--	--	--	--	--	--	--
024	0.034	0.049	0.063	0.076	0.089	--	--	--	--	--	--	--	--	--	--	--
030	--	--	--	0.049	0.059	0.070	0.080	--	--	--	--	--	--	--	--	--
036	--	--	--	--	0.070	0.080	0.090	0.099	--	--	--	--	--	--	--	--
042	--	--	--	--	--	0.049	0.056	0.063	0.070	--	--	--	--	--	--	--
048	--	--	--	--	--	--	0.063	0.070	0.076	0.083	0.090	--	--	--	--	--
060	--	--	--	--	--	--	--	--	0.049	0.054	0.059	0.065	0.070	--	--	--

ELECTRIC HEATER STATIC PRESSURE DROP (in wc)

HEATER ELEMENTS	FB4C 018 - 036			FB4C 042 - 060		
	kW	EXTERNAL STATIC PRESSURE CORRECTION	HEATER ELEMENTS	kW	EXTERNAL STATIC PRESSURE CORRECTION	
0	0	+02	0	0	+04	
1	3, 5	+01	2	8, 10	+02	
2	8, 10	0	3	9, 15	0	
3	9, 15	-02	4	20	-02	
4	20	-04	6	18, 24, 30	-10	

The airflow performance data was developed using fan coils with 10-kW electric heaters (2 elements) in the 018 through 036 size units and 15-kW heaters (3 elements) in the 042 through 060 size units. For fan coils with heaters of a different number of elements, the external available static at a given CFM from the curve may be corrected by adding or subtracting available external static pressure as indicated above.

MINIMUM CFM AND MOTOR SPEED SELECTION

FB4C	HEATER kW									
	3	5	8	9	10	15	18	20	24	30
018	525	525	525	--	600	--	--	--	--	--
024	700	700	700	--	700	775	--	--	--	--
030	--	875	875	--	875	875	--	1080	--	--
036	--	1050	970	970	970	920	--	1040	--	--
042	--	--	1225	1225	1225	1225	1225	1225	--	--
048	--	--	1400	1400	1400	1400	1400	1400	1400	1400
060	--	--	1750	1750	1750	1750	1750	1750	1750	1750

Speed Tap 4 (white wire) is used for electric heat only. White wire must remain on tap 4.

CARRIER MODEL # CA16NW06100G CONDENSER 5 TON, 16 SEER AHRI # 202028438

Physical Data 1-Phase

UNIT SIZE (Phase)	18-A (N)	24-A (N)	30-A (N)	36-B (N)	42-B (N)	43-B (N)	48-B (N)	54-C (N)	61-B (N)
Compressor Type	Scroll								
REFRIGERANT	Puron® (R-410A)								
Control	TXV (Puron Hard Shut-off)								
Charge lb (kg)	3.74 (1.70)	4.95 (2.25)	6.82 (3.09)	6.75 (3.06)	8.60 (3.90)	11.70 (5.31)	13.00 (5.90)	14.00 (6.35)	14.00 (6.35)
COND FAN	Propeller Type, Direct Drive								
Air Discharge	Vertical								
Air Qty (CFM)	1700	2196	2614	3810	3337	3223	4046	4000	4000
Motor HP	1/12	1/10	1/10	1/5	1/8	1/12	1/4	1/3	1/3
Motor RPM	1100	800	1100	810	810	800	752	817	817
COND COIL	Face Area (Sq ft)								
	9.85	12.1	21.56	17.6	17.6	25.15	25.15	30.15	30.15
	Fins per in.								
	25	25	25	25	20	20	20	20	20
	Rows								
	1	1	1	1	2	2	2	2	2
	Circuits								
	3	4	5	4	7	8	7	12	12
VALVE CONNECT. (In. ID)	Vapor								
	3/4"	3/4"	3/4"	7/8"	7/8"	7/8"	7/8"	7/8"	7/8"
	Liquid								
	3/8"								
REFRIGERANT TUBES (In. OD)	Rated Vapor*								
	3/4"	3/4"	3/4"	7/8"	7/8"	7/8"	7/8"	1-1/8"	1-1/8"
	Max Liquid Line								
	3/8"								

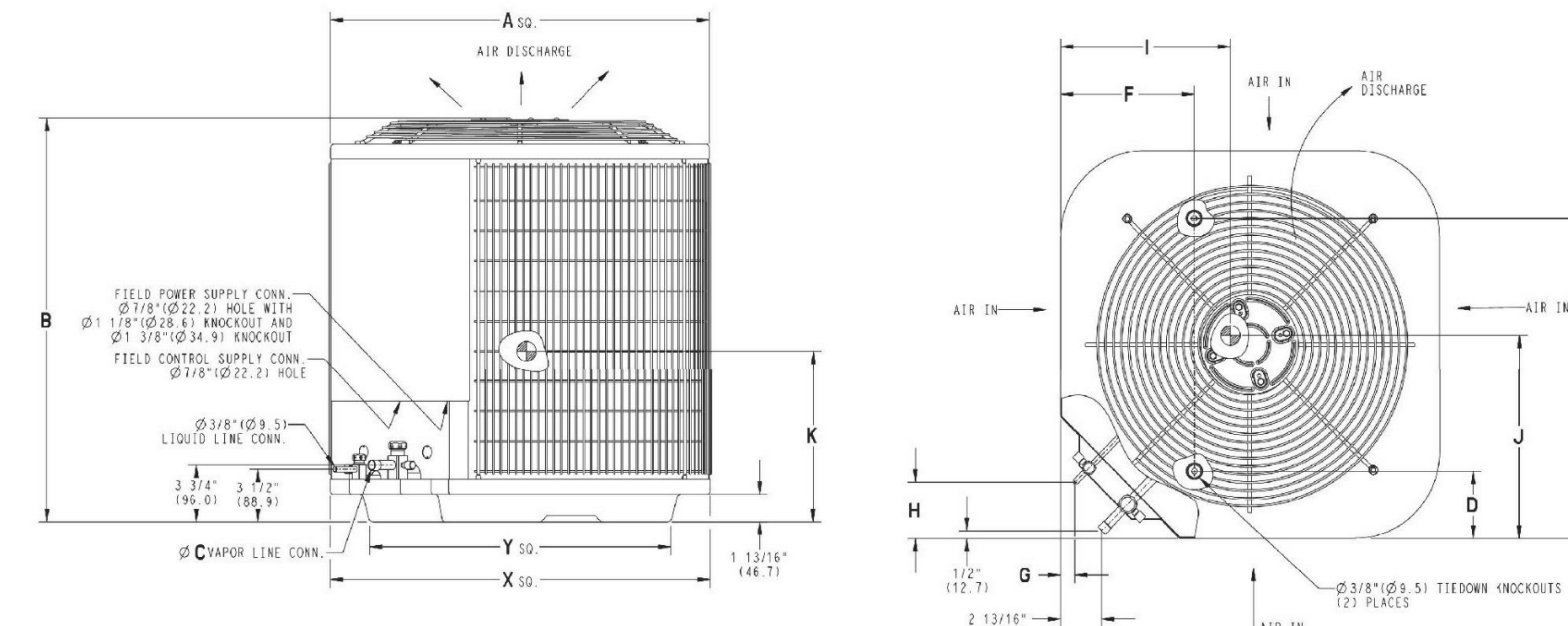


Table 6 - Vapor Line Sizing and Cooling Capacity Losses - Puron Refrigerant 1-Stage Air Conditioner Applications

Unit Nominal Size (Btuh)	Maximum Liquid Line Diameters (In. OD)	Vapor Line Diameters (In. OD)	Cooling Capacity Loss (%) Total Equivalent Line Length ft. (m)										
			1-Stage AC with Puron										
			26-50 (7.9-15.2)	51-80 (15.5-24.4)	81-100 (24.7-30.5)	101-125 (30.8-38.1)	126-150 (38.4-45.7)	151-175 (46.0-53.3)	176-200 (53.6-61.0)	201-225 (61.3-68.6)	226-250 (68.9-76.2)		
54, 60, 61	3/8	3/4	1	2	4	5	6	7	9	10	11		
		7/8	0	1	2	2	3	4	4	5	5		
		1 1/8	0	0	0	1	1	1	1	1	1		

Applications in this area may be long line and may have height restrictions. See the Residential Piping and Long Line Guidelines.

Detailed Cooling Capacities# continued

EVAPORATOR AIR		CONDENSER ENTERING AIR TEMPERATURES °F (°C)																	
CFM	EWB °F (°C)	75 (23.9)		85 (29.4)		95 (35)		105 (40.6)		115 (46.1)		125 (51.7)							
		Capacity MBtuh	Total Sys. KW**	Capacity MBtuh	Total Sys. KW**	Capacity MBtuh	Total Sys. KW**	Capacity MBtuh	Total Sys. KW**	Capacity MBtuh	Total Sys. KW**	Capacity MBtuh	Total Sys. KW**						
2000	72 (22.2)	70.67	37.22	3.85	67.19	36.00	4.22	63.52	34.75	4.65	59.62	33.43	5.13	55.45	32.04	5.66	51.14	30.62	6.27
	67 (19.4)	64.66	46.91	3.83	61.54	45.62	4.20	58.23	44.37	4.63	54.73	43.04	5.10	50.98	41.61	5.64	47.07	40.13	6.25
	63 (17.2)††	60.27	45.00	3.81	57.39	43.79	4.19	54.36	42.55	4.61	51.12	41.23	5.09	47.65	39.80	5.63	44.01	38.31	6.23
	62 (18.7)	60.03	59.46	3.81	57.55	57.55	4.19	55.01	55.01	4.61	52.25	52.25	5.09	49.23	49.23	5.64	46.01	46.01	6.25
	57 (13.9)	59.85	59.85	3.81	57.47	57.47	4.19	54.94	54.94	4.61	52.18	52.18	5.09	49.18	49.18	5.63	45.94	45.94	6.24

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REV. DATE DESCRIPTION

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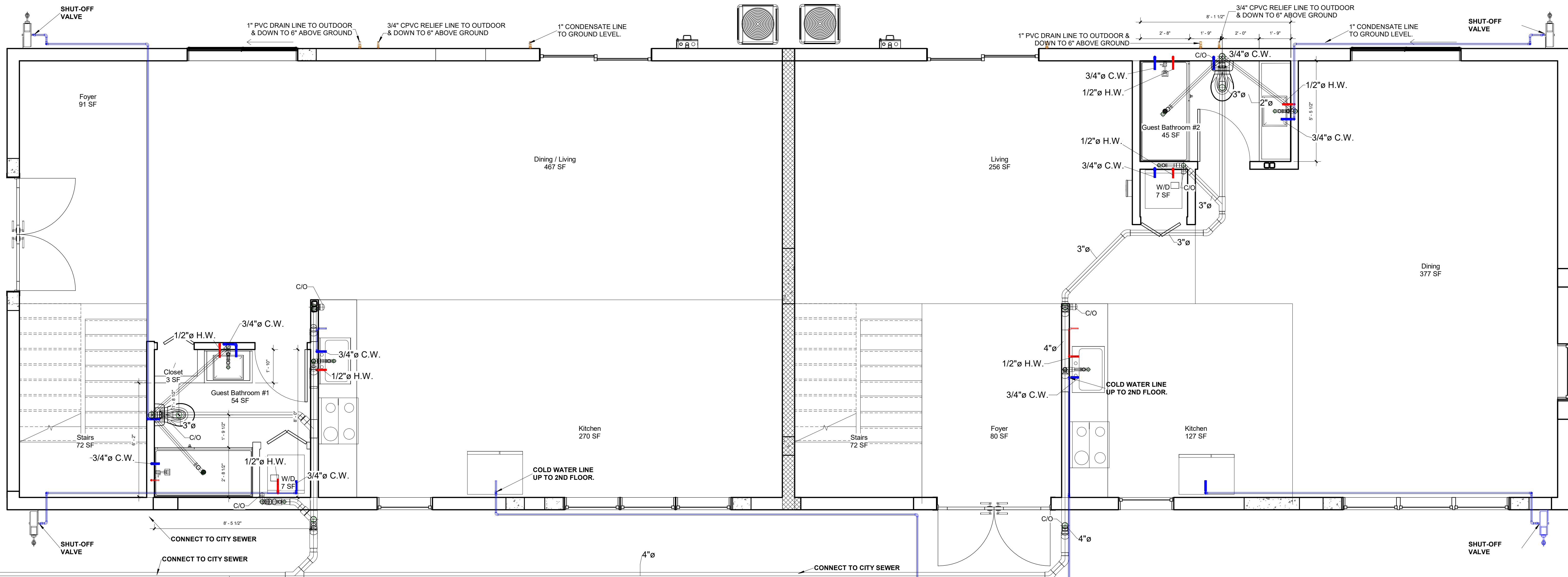
SW #TH STREET
BEACH, FL

OWNER: ### SW #TH ST
BEACH INC.
DUPLEX DEVELOPMENT

MECHANICAL PLAN - DETAILS 2

09/06/2022 Scale As Indicated

M-6



1 1st FLOOR PROPOSED PLUMBING PLAN
3/8" = 1'-0"

NOTE FOR HOSE REELS:
UL APPROVED LISTING: EX15940
Company: Guardian Fire Equipment Inc

WATER SYSTEM DESIGN:

- HOT AND COLD WATER LINES SHALL BE RUN WITHIN WALLS, ABOVE DROP CEILINGS, AND ALONG BOTTOM OF JOISTS UNLESS OTHERWISE NOTED
- WATER SUPPLY SERVICE TO COMPLY PER FBC TABLE 603.1 & 604.5 FOR MIN. SIZE OF FIXTURE SUPPLY
- PROVIDE ANTI-SCALD VALVES AT SHOWER PER FBC 424.4. ALL PLUMBING FIXTURES COMPLY WITH TABLE 604.4 THE MAXIMUM FLOW RATES AND CONSUMPTION FOR PLUMBING FIXTURES AND FIXTURE FITTINGS.
- SHOCK ABSORBERS & SHUTOFF VALVES SHALL BE PROVIDED PER FBC 602.2
- PROVIDE WATERHAMMER ARRESTORS PER FBC 604.9
- HOT WATER LINES SHALL BE INSULATED
- SANITARY LINES SLOPE: LESS THAN 3": 1/8" /LF, 3" AND GREATER: 1/4" /LF
- ALL CONNECTIONS MUST BE VERIFIED IN THE FIELD BEFORE COMMENCING WORK

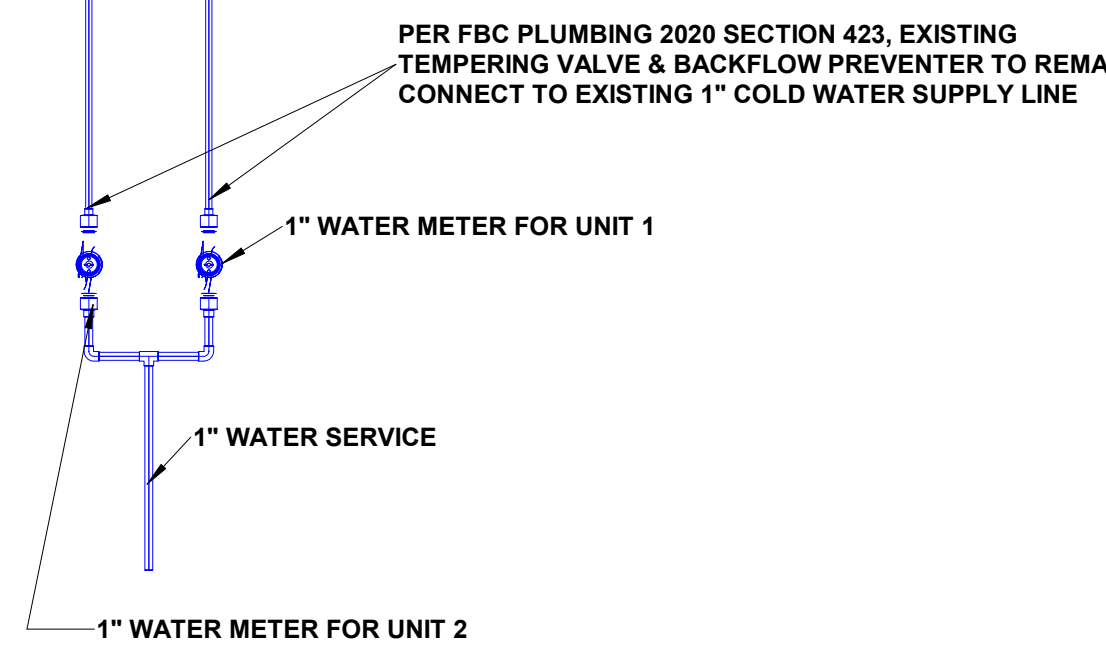
MATERIALS NOTES:

- INTERIOR DOMESTIC WATER PIPING SHALL BE PEX (UNDERGROUND NOT PERMITTED). EXTERIOR DOMESTIC WATER PIPING SHALL BE HARD COPPER PIPE "L" ANSI/ASTM B-88 WITH WROUGHT-COPPER SOLDER-JOINTS FITTINGS ASTM B-16.22. BELOW GRADE PIPING SHALL BE TYPE "K" ANSI/ASTM SOFT COPPER WITH NO JOINTS OR FITTINGS BELOW GRADE.
- SANITARY AND VENT PIPING SHALL BE SCHEDULE 40 PVC.
- INSULATE ALL HOT WATER LINES AS FOLLOWS: HW SUPPLY 1" THICK PREFORMED ARMAFLEX PIPE INSULATION.

NOTE:
Building Code: FBC 2020 7th
Occupancy Type: R-3
Type of Construction: III-B
Classification of Work:
New construction

PLUMBING GENERAL NOTES:

- REFERENCE THE SPECIFICATIONS FOR MATERIAL AND EQUIPMENT INSTALLATION STANDARDS.
- THE PLUMBING INSTALLATION SHALL COMPLY WITH ALL STATE AND LOCAL CODES.
- UTILITIES AND SERVICES INDICATED ARE TAKEN FROM VARIOUS OLD AND NEW SURVEYS, ASBUILT RECORDS AND FIELD INVESTIGATIONS. UNFORSEEN CONDITIONS PROBABLY EXIST AND NEW WORK MAY NOT BE FIELD LOCATED EXACTLY AS SHOWN ON DRAWINGS. COOPERATION WITH OTHER TRADES IN ROUTING AND BURIAL DEPTHS, AS DETERMINED DURING CONSTRUCTION WILL BE NECESSARY.
- FIELD VERIFY EXISTING INSTALLATIONS. MODIFY EXISTING PLUMBING SYSTEMS, WHICH ARE TO REMAIN ACTIVE, TO FACILITATE RECONNECTION AND EXTENSION OF THE NEW WORK.
- NOTIFY OWNER AT LEAST 24 HOURS PRIOR TO INTERRUPTING EXISTING SERVICE. SCHEDULE DISCONNECTION AND TIE-INS TO MINIMIZE DISRUPTION OF SERVICES. SERVICES ARE NOT TO BE LEFT DISRUPTED DURING NON-NORMAL CONTRACTOR WORKING HOURS.
- PLANS ARE NOT COMPLETELY TO SCALE. PIPE ROUTING SHOWN IS SCHEMATIC AND IS NOT INTENDED TO INDICATE EXACT ROUTING. CONTRACTOR SHALL PROVIDE ANY ADDITIONAL OFFSETS AND FITTINGS REQUIRED FOR PROPER INSTALLATION AND TO MAINTAIN CLEARANCES. VERIFY STRUCTURAL, MECHANICAL AND ELECTRICAL INSTALLATIONS AND OTHER POTENTIAL OBSTRUCTIONS AND ROUTE PIPING TO AVOID INTERFERENCES.
- PROVIDE ALL OFFSETS AND FITTINGS AND MAKE CONNECTION TO SITE UTILITIES.
- CONCEAL PIPING ABOVE CEILINGS, WITHIN WALLS OR CHASES EXCEPT IN MECHANICAL ROOMS OR AS SPECIFICALLY NOTED.
- PROVIDE ACCESS PANELS FOR ALL VALVES CONCEALED IN WALLS OR ABOVE NONACCESSIBLE CEILINGS.
- SLEEVE AND/OR FIRESTOP ALL PENETRATIONS THROUGH RATED WALLS, CEILINGS, AND FLOORS WITH U/L LISTED ASSEMBLIES. FIRESTOP ASSEMBLIES SHALL BE EQUAL TO OR EXCEED THE RATING OF THE WALL, CEILING OR FLOOR. SEE ARCHITECTURAL DRAWINGS FOR FINAL FINISHES.
- FLASH AND COUNTER-FLASH ROOF PENETRATIONS.
- WHEN BEAM SLEEVE PENETRATIONS ARE NECESSARY, COORDINATE PENETRATIONS WITH ALL TRADES, THE ARCHITECT AND THE STRUCTURAL ENGINEER.
- PROVIDE FOUNDATION PAD PENETRATION SLEEVES. ALLOW 1" MINIMUM CLEARANCE BETWEEN SLEEVE INSIDE SURFACE AND PIPE EXTERIOR.
- SEE ARCHITECTURAL DRAWINGS FOR FIXTURE LOCATIONS AND MOUNTING HEIGHTS.
- PROVIDE AUTOMATIC TRAP PRIMERS FOR FLOOR DRAIN TRAP SEALS.
- PROVIDE AN AIR GAP, WHEN REQUIRED BY CODE, SERVING INDIVIDUAL FIXTURES, DEVICES, APPLIANCES AND APPARATUS.
- ALL EXPOSED PIPE AND FITTINGS IN FINISHED AREAS SHALL BE CHROME PLATED.
- MOUNT WALL HYDRANTS 24" ABOVE FINISHED GRADE UNLESS SPECIFICALLY NOTED OTHERWISE ON DRAWINGS. MOUNT HOSE BIBBS 24" ABOVE FINISHED FLOOR UNLESS SPECIFICALLY NOTED OTHERWISE.
- PROVIDE CLEANOUTS IN ACCORDANCE WITH ALL STATE AND LOCAL CODES. INSTALL CLEANOUT WITH COVER FLUSH TO FINISH SURFACE.
- COORDINATE EXACT FLOOR DRAIN LOCATIONS WITH ARCHITECTURAL DRAWINGS. SET FLOOR DRAINS BELOW FINISHED FLOOR TO ALLOW FOR FLOOR SLOPING TO THE DRAIN.
- COORDINATE PIPING WITH ALL ELECTRICAL EQUIPMENT (PANELS, TRANSFORMERS, ETC.) PRIOR TO ANY INSTALLATION. DO NOT ROUTE ANY PIPING OVER ANY ELECTRICAL PANELS UNDER ANY CIRCUMSTANCES. ANY PIPING RUN OVER PANELS SHALL BE RE-ROUTED AT NO ADDITIONAL COST.
- ALL WALL MOUNTED LAVATORIES SHALL BE ATTACHED TO FLOOR MOUNTED CARRIER DESIGNED TO WITHSTAND A VERTICAL LOAD OF 250 POUNDS ON THE FRONT OF THE FIXTURE.
- PROVIDE SANITARY WASTE, VENT, DOMESTIC WATER, ETC. ROUGH-IN AND MAKE FINAL CONNECTIONS (TO INCLUDE PROVIDING ALL NECESSARY RELATED STOPS, VALVES, TRAPS, ETC. AND MAKE READY FOR USE) TO ALL EQUIPMENT, WHETHER FURNISHED BY THIS CONTRACTOR OR FURNISHED BY OTHERS.
- NSF-61-G COMPLIANCE: PRODUCTS IN CONTACT WITH DOMESTIC WATER FOR HUMAN CONSUMPTION SHALL MEET NSF-61-G AND CONTAIN LESS THAN 0.25% (WEIGHTED AVERAGE) OF LEAD. ALL PRODUCTS SHALL BE LABELED WITH THE CERTIFICATION MARK NSF-61-G.



SANITARY PLUMBING FIXTURE SCHEDULE UNIT 1				
DESCRIPTION	FU	QTY	TOTAL FU	FLOW AND WATER CONSUMPTION
SHOWER	2	1	2	1.5 GMP AT 80 PSI
LAV PRIVATE	1	1	1	1.5 GMP AT 60 PSI
WATER CLOSET	3	1	3	1.28 GALLONS PER FLUSHING CYCLE
WASHING MACHINE	3	1	3	WATER FACTOR OF 8 OR LOWER
DISHWASHER RESIDENTIAL	2	1	2	6.5 GALLONS PER CYCLE OR LESS
SINK	2	1	2	1.5 GMP AT 60 PSI
HOSE BIB	1	2	2	1.5 GMP AT 60 PSI
SUBTOTAL 1ST FLOOR:			15	
2ND FLOOR:				
DESCRIPTION	FU	QTY	TOTAL FU	FLOW AND WATER CONSUMPTION
LAV PRIVATE	1	4	4	1.5 GMP AT 60 PSI
WATER CLOSET	3	3	9	1.28 GALLONS PER FLUSHING CYCLE
TUB	2	1	2	1.5 GMP AT 80 PSI
SHOWER	2	3	6	1.5 GMP AT 80 PSI
SUBTOTAL 2ND FLOOR:			21	
TOTAL 1ST AND 2ND FLOOR:			36	

SANITARY PLUMBING FIXTURE SCHEDULE UNIT 2				
DESCRIPTION	FU	QTY	TOTAL FU	FLOW AND WATER CONSUMPTION
SHOWER	2	1	2	1.5 GMP AT 80 PSI
LAV PRIVATE	1	1	1	1.5 GMP AT 60 PSI
WATER CLOSET	3	1	3	1.28 GALLONS PER FLUSHING CYCLE
WASHING MACHINE	3	1	3	WATER FACTOR OF 8 OR LOWER
DISHWASHER RESIDENTIAL	2	1	2	6.5 GALLONS PER CYCLE OR LESS
SINK	2	1	2	1.5 GMP AT 60 PSI
HOSE BIB	1	2	2	1.5 GMP AT 60 PSI
SUBTOTAL 1ST FLOOR:			15	
2ND FLOOR:				
DESCRIPTION	FU	QTY	TOTAL FU	FLOW AND WATER CONSUMPTION
LAV PRIVATE	1	4	4	1.5 GMP AT 60 PSI
WATER CLOSET	3	3	9	1.28 GALLONS PER FLUSHING CYCLE
TUB	2	1	2	1.5 GMP AT 80 PSI
SHOWER	2	3	6	1.5 GMP AT 80 PSI
SUBTOTAL 2ND FLOOR:			21	
TOTAL 1ST AND 2ND FLOOR:			36	

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BEACH, FL

OWNER: ### SW ###TH ST
BEACH INC.
DUPLEX DEVELOPMENT

1ST FLOOR - PLUMBING PLAN

09/06/2022 Scale As indicated

WATER SYSTEM DESIGN:

- 1) HOT AND COLD WATER LINES SHALL BE RUN WITHIN WALLS, ABOVE DROP CEILINGS, AND ALONG BOTTOM OF JOISTS UNLESS OTHERWISE NOTED
- 2) WATER SUPPLY SERVICE TO COMPLY PER FBC TABLE 603.1 & 604.5 FOR MIN. SIZE OF FIXTURE SUPPLY
- 3) PROVIDE ANTI-SCALD VALVES AT SHOWER PER FBC 424.4. ALL PLUMBING FIXTURES COMPLY WITH TABLE 604.4 THE MAXIMUM FLOW RATES AND CONSUMPTION FOR PLUMBING FIXTURES AND FIXTURE FITTINGS.
- 4) SHOCK ABSORBERS & SHUTOFF VALVES SHALL BE PROVIDED PER FBC 602.2
- 5) PROVIDE WATERHAMMER ARRESTORS PER FBC 604.9
- 6) HOT WATER LINES SHALL BE INSULATED
- 7) SANITARY LINES SLOPE: LESS THAN 3": 1/8" /LF, 3" AND GREATER: 1/4" /LF
- 8) ALL CONNECTIONS MUST BE VERIFIED IN THE FIELD BEFORE COMMENCING WORK

MATERIALS NOTES:

- 1) INTERIOR DOMESTIC WATER PIPING SHALL BE PEX (UNDERGROUND NOT PERMITTED). EXTERIOR DOMESTIC WATER PIPING SHALL BE HARD COPPER PIPE "L" ANSI/ASTM B-88 WITH WROUGHT-COPPER SOLDER-JOINTS FITTINGS ASTM B-16.22. BELOW GRADE PIPING SHALL BE TYPE "K" ANSI/ASTM SOFT COPPER WITH NO JOINTS OR FITTINGS BELOW GRADE.
- 2) SANITARY AND VENT PIPING SHALL BE SCHEDULE 40 PVC.
- 3) INSULATE ALL HOT WATER, LINES AS FOLLOWS: HW SUPPLY 1" THICK PREFORMED ARMAFLEX PIPE INSULATION.

NOTE:

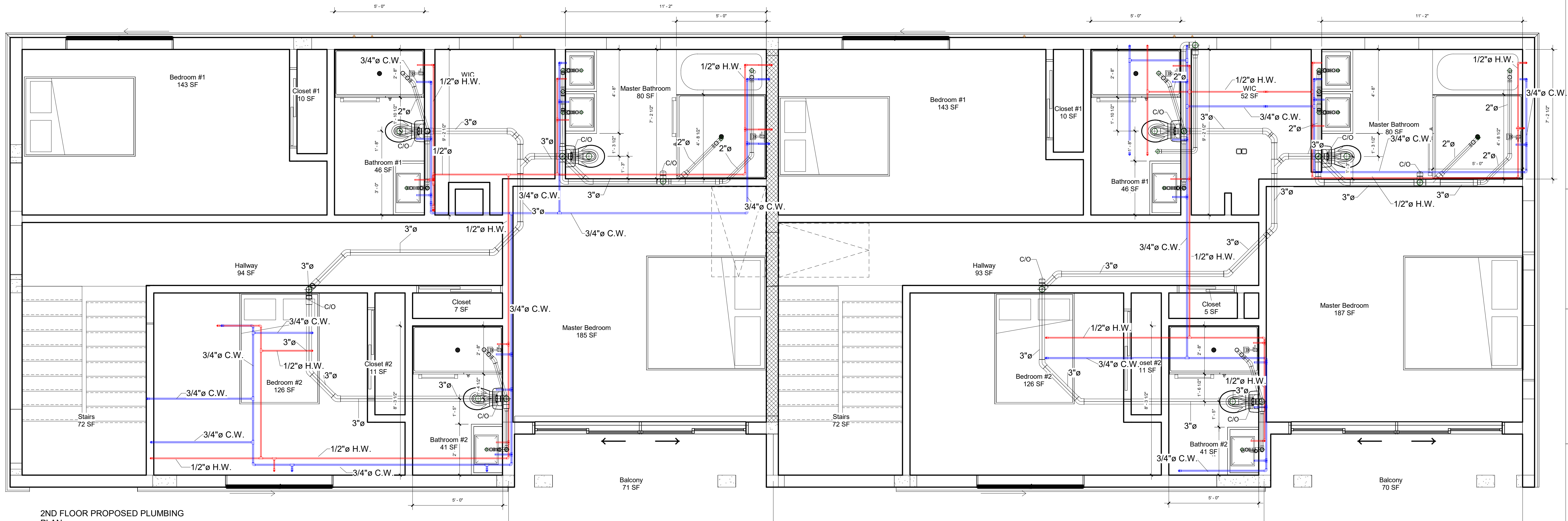
Building Code: FBC 2020 7th
Occupancy Type: R-3
Type of Construction: III-B
Classification of Work:
New construction

PLUMBING GENERAL NOTES:

1. REFERENCE THE SPECIFICATIONS FOR MATERIAL AND EQUIPMENT INSTALLATION STANDARDS.
2. THE PLUMBING INSTALLATION SHALL COMPLY WITH ALL STATE AND LOCAL CODES.
3. UTILITIES AND SERVICES INDICATED ARE TAKEN FROM VARIOUS OLD AND NEW SURVEYS, ASBUILT RECORDS AND FIELD INVESTIGATIONS. UNFORSEEN CONDITIONS PROBABLY EXIST AND NEW WORK MAY NOT BE FIELD LOCATED EXACTLY AS SHOWN ON DRAWINGS. COOPERATION WITH OTHER TRADES IN ROUTING AND BURIAL DEPTHS, AS DETERMINED DURING CONSTRUCTION, WILL BE NECESSARY.
4. FIELD VERIFY EXISTING INSTALLATIONS. MODIFY EXISTING PLUMBING SYSTEMS, WHICH ARE TO REMAIN ACTIVE, TO FACILITATE RECONNECTION AND EXTENSION OF THE NEW WORK.
5. NOTIFY OWNER AT LEAST 24 HOURS PRIOR TO INTERRUPTING EXISTING SERVICE. SCHEDULE DISCONNECTION AND TIE-INS TO MINIMIZE DISRUPTION OF SERVICES. SERVICES ARE NOT TO BE LEFT DISRUPTED DURING NON-NORMAL CONTRACTOR WORKING HOURS.
6. PLANS ARE NOT COMPLETELY TO SCALE. PIPE ROUTING SHOWN IS SCHEMATIC AND IS NOT INTENDED TO INDICATE EXACT ROUTING. CONTRACTOR SHALL PROVIDE ANY ADDITIONAL OFFSETS AND FITTINGS REQUIRED FOR PROPER INSTALLATION AND TO MAINTAIN CLEARANCES. VERIFY STRUCTURAL, MECHANICAL AND ELECTRICAL INSTALLATIONS AND OTHER POTENTIAL OBSTRUCTIONS AND ROUTE PIPING TO AVOID INTERFERENCES.
7. PROVIDE ALL OFFSETS AND FITTINGS AND MAKE CONNECTION TO SITE UTILITIES.
8. CONCEAL PIPING ABOVE CEILINGS, WITHIN WALLS OR CHASES EXCEPT IN MECHANICAL ROOMS OR AS SPECIFICALLY NOTED.
9. PROVIDE ACCESS PANELS FOR ALL VALVES CONCEALED IN WALLS OR ABOVE NONACCESSIBLE CEILINGS.
10. SLEEVE AND/OR FIRESTOP ALL PENETRATIONS THROUGH RATED WALLS, CEILINGS, AND FLOORS WITH U/L LISTED ASSEMBLIES. FIRESTOP ASSEMBLIES SHALL BE EQUAL TO OR EXCEED THE RATING OF THE WALL, CEILING OR FLOOR. SEE ARCHITECTURAL DRAWINGS FOR FINAL FINISHES.
11. FLASH AND COUNTER-FLASH ROOF PENETRATIONS.
12. WHEN BEAM SLEEVE PENETRATIONS ARE NECESSARY, COORDINATE PENETRATIONS WITH ALL TRADES, THE ARCHITECT AND THE STRUCTURAL ENGINEER.
13. PROVIDE FOUNDATION PAD PENETRATION SLEEVES. ALLOW 1" MINIMUM CLEARANCE BETWEEN SLEEVE INSIDE SURFACE AND PIPE EXTERIOR.
14. SEE ARCHITECTURAL DRAWINGS FOR FIXTURE LOCATIONS AND MOUNTING HEIGHTS.
15. PROVIDE AUTOMATIC TRAP PRIMERS FOR FLOOR DRAIN TRAP SEALS.
16. PROVIDE AN AIR GAP, WHEN REQUIRED BY CODE, SERVING INDIVIDUAL FIXTURES, DEVICES, APPLIANCES AND APPARATUS.
17. ALL EXPOSED PIPE AND FITTINGS IN FINISHED AREAS SHALL BE CHROME PLATED.
18. MOUNT WALL HYDRANTS 24" ABOVE FINISHED GRADE UNLESS SPECIFICALLY NOTED OTHERWISE ON DRAWINGS. MOUNT HOSE BIBS 24" ABOVE FINISHED FLOOR UNLESS SPECIFICALLY NOTED OTHERWISE.
19. PROVIDE CLEANOUTS IN ACCORDANCE WITH ALL STATE AND LOCAL CODES. INSTALL CLEANOUT WITH COVER FLUSH TO FINISH SURFACE.
20. COORDINATE EXACT FLOOR DRAIN LOCATIONS WITH ARCHITECTURAL DRAWINGS. SET FLOOR DRAINS BELOW FINISHED FLOOR TO ALLOW FOR FLOOR SLOPING TO THE DRAIN.
21. COORDINATE PIPING WITH ALL ELECTRICAL EQUIPMENT (PANELS, TRANSFORMERS, ETC.) PRIOR TO ANY INSTALLATION. DO NOT ROUTE ANY PIPING OVER ANY ELECTRICAL PANELS UNDER ANY CIRCUMSTANCES. ANY PIPING RUN OVER PANELS SHALL BE RE-ROUTED AT NO ADDITIONAL COST.
22. ALL WALL MOUNTED LAVATORIES SHALL BE ATTACHED TO FLOOR MOUNTED CARRIER DESIGNED TO WITHSTAND A VERTICAL LOAD OF 250 POUNDS ON THE FRONT OF THE FIXTURE.
23. PROVIDE SANITARY WASTE, VENT, DOMESTIC WATER, ETC. ROUGH-IN AND MAKE FINAL CONNECTIONS (TO INCLUDE PROVIDING ALL NECESSARY RELATED STOPS, VALVES, TRAPS, ETC. AND MAKE READY FOR USE) TO ALL EQUIPMENT, WHETHER FURNISHED BY THIS CONTRACTOR OR FURNISHED BY OTHERS.
24. NSF-61-G COMPLIANCE: PRODUCTS IN CONTACT WITH DOMESTIC WATER FOR HUMAN CONSUMPTION SHALL MEET NSF-61-G AND CONTAIN LESS THAN 0.25% (WEIGHTED AVERAGE) OF LEAD. ALL PRODUCTS SHALL BE LABELED WITH THE CERTIFICATION MARK NSF-61-G.

SANITARY PLUMBING FIXTURE SCHEDULE UNIT 1				
1ST FLOOR:				
DESCRIPTION	FU	QTY	TOTAL FU	FLOW AND WATER CONSUMPTION
SHOWER	2	1	2	1.5 GMP AT 80 PSI
LAV PRIVATE	1	1	1	1.5 GMP AT 60 PSI
WATER CLOSET	3	1	3	1.28 GALLONS PER FLUSHING CYCLE
WASHING MACHINE	3	1	3	WATER FACTOR OF 8 OR LOWER
DISHWASHER RESIDENTIAL	2	1	2	6.5 GALLONS PER CYCLE OR LESS
SINK	2	1	2	1.5 GMP AT 60 PSI
HOSE BIB	1	2	2	1.5 GMP AT 60 PSI
SUBTOTAL 1ST FLOOR:			15	
2ND FLOOR:				
DESCRIPTION	FU	QTY	TOTAL FU	FLOW AND WATER CONSUMPTION
LAV PRIVATE	1	4	4	1.5 GMP AT 60 PSI
WATER CLOSET	3	3	9	1.28 GALLONS PER FLUSHING CYCLE
TUB	2	1	2	1.5 GMP AT 80 PSI
SHOWER	2	3	6	1.5 GMP AT 80 PSI
SUBTOTAL 2ND FLOOR:			21	
TOTAL 1ST AND 2ND FLOOR:			36	

SANITARY PLUMBING FIXTURE SCHEDULE UNIT 2				
1ST FLOOR:				
DESCRIPTION	FU	QTY	TOTAL FU	FLOW AND WATER CONSUMPTION
SHOWER	2	1	2	1.5 GMP AT 80 PSI
LAV PRIVATE	1	1	1	1.5 GMP AT 60 PSI
WATER CLOSET	3	1	3	1.28 GALLONS PER FLUSHING CYCLE
WASHING MACHINE	3	1	3	WATER FACTOR OF 8 OR LOWER
DISHWASHER RESIDENTIAL	2	1	2	6.5 GALLONS PER CYCLE OR LESS
SINK	2	1	2	1.5 GMP AT 60 PSI
HOSE BIB	1	2	2	1.5 GMP AT 60 PSI
SUBTOTAL 1ST FLOOR:			15	
2ND FLOOR:				
DESCRIPTION	FU	QTY	TOTAL FU	FLOW AND WATER CONSUMPTION
LAV PRIVATE	1	4	4	1.5 GMP AT 60 PSI
WATER CLOSET	3	3	9	1.28 GALLONS PER FLUSHING CYCLE
TUB	2	1	2	1.5 GMP AT 80 PSI
SHOWER	2	3	6	1.5 GMP AT 80 PSI
SUBTOTAL 2ND FLOOR:			21	
TOTAL 1ST AND 2ND FLOOR:			36	



2ND FLOOR PROPOSED PLUMBING PLAN
1/8" = 1'-0"

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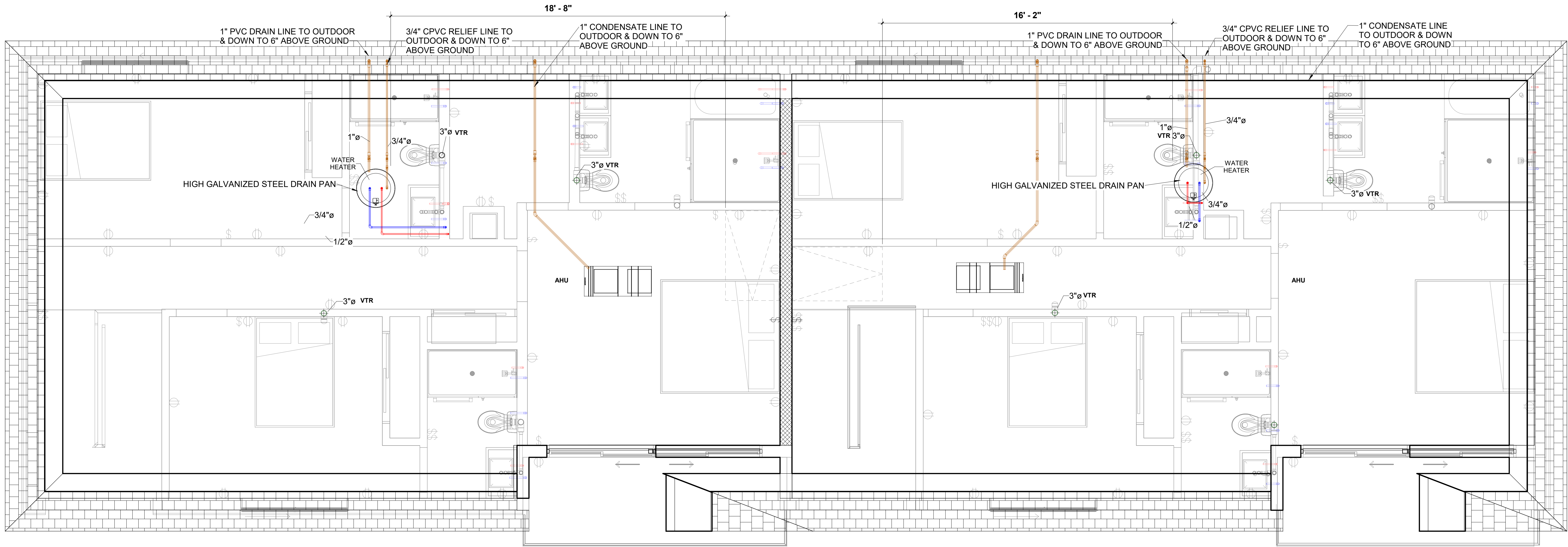
OWNER: ### SW ###TH ST
BEACH INC.
DUPLEX DEVELOPMENT

2ND FLOOR - PLUMBING PLAN

09/06/2022 Scale 3/8" = 1'-0"

NOTE:
 Building Code: FBC 2020 7th
 Occupancy Type: R-3
 Type of Construction: III-B
 Classification of Work:
 New construction

NOTES:
 1. UNIFORM ENERGY FACTOR: 0.92
 2. PASSAGEWAY DIMENSIONS TO WATER HEATER: 30" HEIGHT X 22" WIDE AND NOT MORE THAN 20'. SOLID FLOORING MINIMUM 24" WIDTH.
 *REFER TO DETAILS ON SHEET P-6



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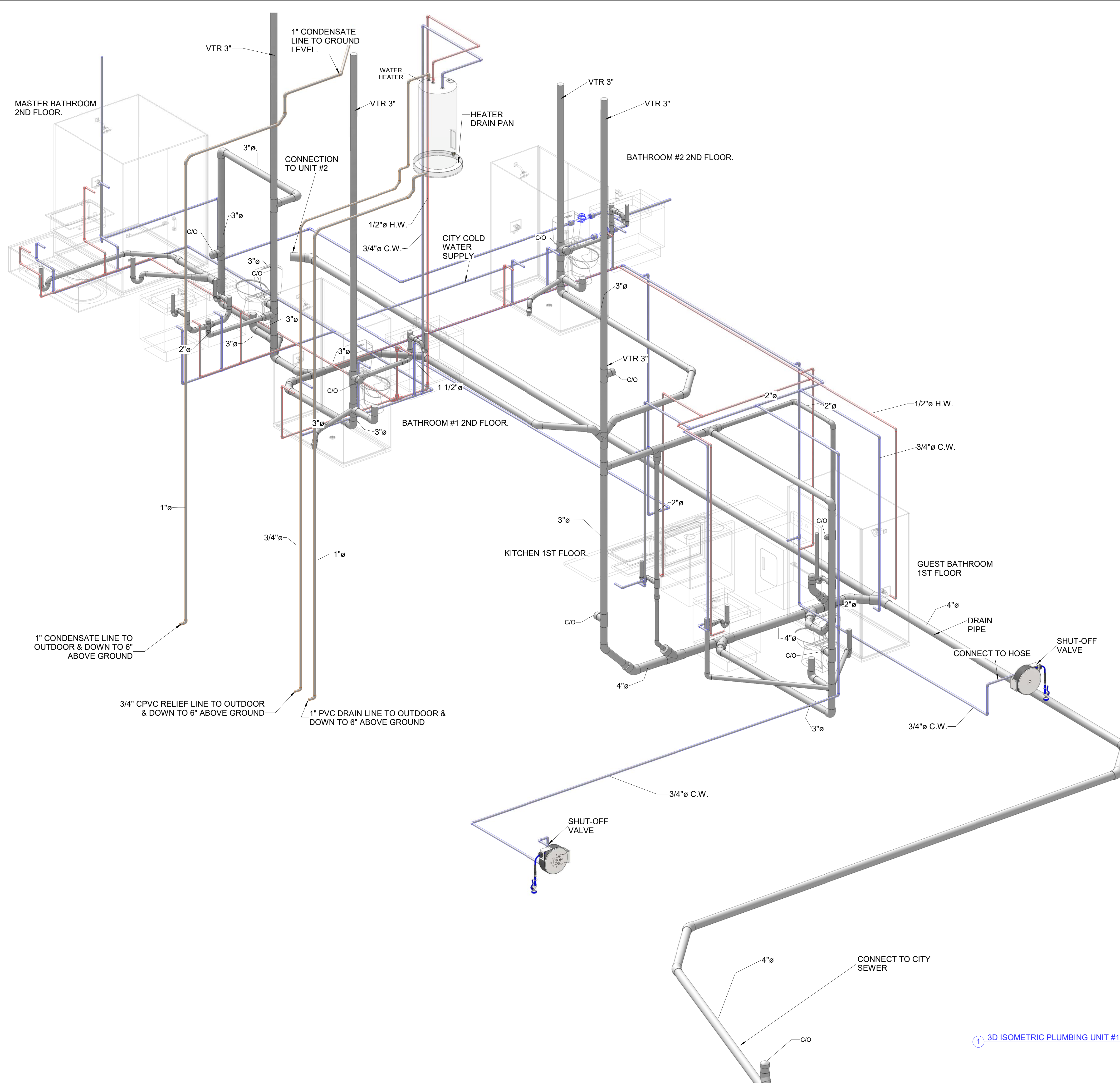
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**ATTIC -
 PLUMBING PLAN**

09/06/2022 Scale 3/8" = 1'-0"



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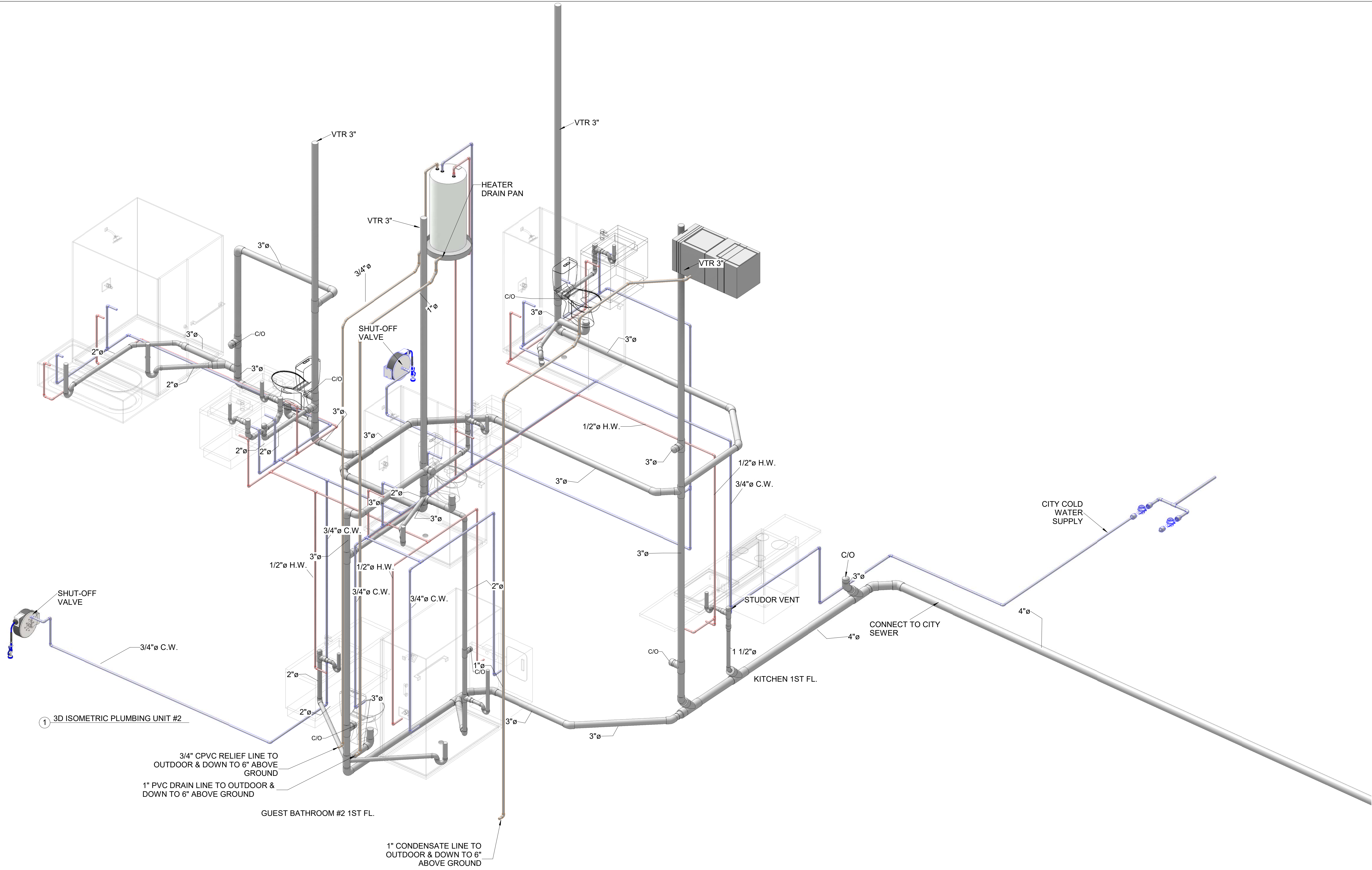
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 DUPLEX DEVELOPMENT

3D ISOMETRIC PLUMBING UNIT 1 - REVISION 2

09/06/2022 Scale

P-4

① 3D ISOMETRIC PLUMBING UNIT #1



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**3D ISOMETRIC
 PLUMBING - UNIT
 2 - REVISION 2**

09/06/2022 Scale

